Council Agenda Report

City Council Meeting
07-12-21
Item 4.A.

To: Mayor Grisanti and Honorable Members of the City Council

Prepared by: Didier Murillo, Associate Planner

Reviewed by: Richard Mollica, Planning Director

Approved by: Steve McClary, Interim City Manager

Date prepared: July 1, 2021 Meeting Date: July 12, 2021

Subject: Appeal No. 21-004 - Appeal of Planning Commission Resolution No. 21-15 (33603 Pacific Coast Highway; Owner/Appellant, Palms of Malibu Ranch, LLC / Lauren Coffman)

RECOMMENDED ACTION: Adopt Resolution No. 21-42 (Exhibit A), determining the project is categorically exempt from the California Environmental Quality Act (CEQA); and denying Appeal No. 21-004 (Exhibit B) and denying Coastal Development Permit (CDP) No. 16-025 to construct a new 9,360.5 square foot, two-story single-family residence, including a 1,871.8 square foot subterranean garage, swimming pond, landscaping, hardscape, retaining walls, onsite wastewater treatment system (OWTS), exterior façade remodel of existing guest house and associated development; including Variance (VAR) No. 16-013 to exceed the allowable grading, VAR No. 16-014 to exceed the allowable Total Development Square Footage (TDSF), including Site Plan Review (SPR) No. 16-028 for construction up to 28 feet for a pitched roof and SPR No. 20-078 for remedial grading and Demolition Permit No. 19-047 for the demolition of the existing single-family residence, garage and associated development, located in the Rural Residential-Five Acre (RR-5) zoning district at 33603 Pacific Coast Highway (PCH) (Palms of Malibu Ranch, LLC).

FISCAL IMPACT: There is no fiscal impact associated with the recommended action.

WORK PLAN: This item is not included in the Adopted Work Plan for Fiscal Year 2021-2022. Processing this application is part of normal staff operations.

DISCUSSION: The matter is an appeal of the Planning Commission's denial of CDP No. 16-025, an application for a proposed two-story, single-family residence and other associated development.

The application proposes the demolition of the existing 3,385-square foot two-story, single-family residence and 552-square foot garage resulting in a remaining 7,053-square feet of TDSF on site. The application then proposes construction of a new 9,360.5- square foot two-story single-family residence including a subterranean garage resulting in a TDSF of 16,413.5-square feet. Pursuant

to LIP Section 3.6(K)[1] the resulting TDSF of 16,413.5 square feet will exceed the maximum allowed TDSF of 11,172 square feet by 5,241.5-square feet.

LIP Section 8.3(B)[2] allows for a cumulative total of 1,000 cubic yards of non-exempt grading per residential parcel. The subject application proposes an additional 217 cubic yards of non-exempt grading. At the time of the submittal, the application stated that 943 cubic yards of non-exempt grading had already taken place (based on previous in-concept planning grading approvals). At the time of the Planning Commission hearing, a variance for grading was included because the proposed grading would cause the cumulative total non-exempt grading on the subject property to exceed the maximum allowed amount of grading by 160 cubic yards. However, after the Planning Commission hearing the applicant provided staff with updated grading quantities that are based on grading permits and not the in-concept planning approvals that were used to make the determination that a variance was needed. The updated grading quantities reflects the actual amount of grading that took place rather than the in-concept approved grading quantities which totaled to an estimated 943 cubic yards. The updated grading information demonstrates that only 683 cubic yards of non-exempt grading has taken place.

The total proposed grading is consistent with LIP Section 8.3(B) based on the documented grading quantities (683 cubic yards of prior non-exempt grading plus 217 cubic yards of non-exempt proposed by the project results in 900 cubic yards of non-exempt grading). The corrected grading quantities are listed below along with the corresponding Planning approvals:

- Administrative Plan Review (APR) No. 04-007, 411 cubic yards;
- APR No. 10-038, 120 cubic yards, and
- ACDP No. 12-049, 152 cubic yards.

The project also includes a swimming pond, landscaping, hardscape, retaining walls, OWTS, and associated development including a variance request to exceed the allowable TDSF. Based on the permitting history of the property, a grading variance is no longer required (Attachment 2 in Exhibit C).

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[1] Pursuant to LIP Section 3.6(K), Residential Structure Size. Except as specifically provided herein and where otherwise restricted by provisions of the ESHA Overlay Ordinance (Chapter 4), of the Malibu LIP, and as indicated on the Total Development Square Footage Structure Size Chart, the total development square footage associated with the construction of a single-family residence on a legal lot equal to or greater than 5 acres shall not exceed a total of 11,172 square feet. On lots 5,000 square feet or less, the total development square footage shall not exceed 1,885 square feet. Total development square footage shall be determined based on the following formula (slopes equal to or greater than 1:1 shall be excluded from the lot area calculation): for lot areas up to 1/2 acre, total square footage shall be 17.7% of lot area plus 1,000 square feet; for lot areas greater than 1/2 acre and up to 1 acre, total development square footage shall be increased by 10% of the amount of lot area exceeding 1/2 acre; for lot areas greater than 1 acre and up to 1 1/2 acre, total development square footage shall be increased by 5% of the amount of lot area exceeding 1 acre; for lot areas greater than 1 1/2 acres and up to 5 acres, total development square footage shall be increased by 2% of the amount of the lot area exceeding 1 1/2 acres. For the purposes of this subsection, arbors or trellis open to the sky shall not be calculated as part of the total development square footage. Beachfront lots shall be exempt from the total development square footage provisions of this paragraph.

[2] Pursuant to LIP Section 8.3(B), Maximum Quantity of Grading. Notwithstanding any other provisions of the Malibu LIP, grading per lot of single-family residential development, per acre of multi-family residential development, per acre of commercial development, or per acre of institutional development (total cut and fill) is limited to 1,000 cubic yards.

[3]The variance has been noticed and the denial of it appealed because staff believe it was necessary based on information available at the time. However, as a result of updated information provided by the applicant, staff has determined that no variance is needed for grading.

The existing single-family residence was built in 1973 prior to Cityhood. The proposed two-story single-family residence will be located within the previously disturbed building pad and has been determined to be within the existing developed envelope and thus exempt from a Biological assessment and Environmental Review Board (ERB) review per LIP 4.4.4.

The project plans are included as Attachment 2 in Exhibit C. The full description of the project site and surrounding land uses can be found in the February 16, 2021 Commission Agenda Report (Exhibit C). The analysis and findings in the Planning Commission agenda report demonstrates that the project does not comply with the LCP and Malibu Municipal Code (MMC).

On February 16, 2021, the Planning Commission held a public hearing on the project and determined that the proposed project was not consistent with the requirements of the LCP. The subject of the appeal is described in more detail below.

APPEAL TO THE CITY COUNCIL

The appellant stated the appeal is based on a lack of a fair or impartial hearing. The appellants' specific arguments are summarized below in *italics* using phrases taken from the appeal document. The full text of the appeal document can be found in Exhibit B. Following the appellants' stated appeal argument is a staff summary and response. The Planning Commission agenda report, in which staff recommended denial of the project, is included as Exhibit C. The Planning Commission agenda report includes a complete overview of the surrounding area, project conformance with the LCP and MMC, and a discussion of all findings required to approve the application. The adopted Planning Commission Resolution No. 21-15 denying the project is included as Attachment 1 in Exhibit C.

APPEAL ITEM 1*: The appellant states, "The 15 buildable acres has the possibility of being subdivided into 4 parcels, which would allow a TDSF, on all four parcels in the same footprint as the current parcel to be 40,677 SF of TDSF. The Owner is requesting an additional 5,241.5 SF to build a larger Main House and maintain this open space as one parcel. The Planning Commission would not discuss this option, as an option that would benefit the Malibu Community by maintaining more open space, provide fewer driveways, privacy hedges along Pacific Coast Highway, and maintain the rural character of this Malibu neighborhood."*

Staff Response

After careful review of the application materials, request for a variance and all the information in the record, staff concluded that while the site is approximately 25 acres there are no limitations or special circumstances present that warrant granting relief from the limitation placed on square footage. The LIP places a maximum TDSF limit of 11,172-square feet on residentially zoned parcels and given the size of the subject parcel the LIP allows for this maximum amount of TDSF to be developed on the subject parcel. Staff concurs with the Planning Commission's determination that the findings required for a variance from the TDSF limit cannot be made because adhering to the TDSF limit would not deprive the property owner of benefits enjoyed by surrounding properties, would constitute a special privilege, and would be in conflict with the general purposes and intent of both the LCP and General Plan. The property owner has a developed site which can be redeveloped consistent with the intent of both the LCP and General Plan by complying with the code.

Appellant seeks to be allowed a 46 percent increase in the allowable TDSF as defined by the LIP and Municipal Code. In addition, General Plan Land Use Policy 2.3.2 states that the City shall discourage mansionization by establishing limits on square footage and no evidence was presented that demonstrated how granting the variance would be consistent with General Plan's goals and policies. Approval of the variance would be a significant departure from the LIP and MMC and would grant a special privilege that has not been allowed to other properties in the vicinity with the same zoning classification. No other properties in the City have been granted such a TDSF increase.

Furthermore, none of the surrounding properties have been granted variances to exceed the allowed TDSF amount. Additionally, there are feasible alternatives for a smaller single-family residence or consolidation of existing structures (guest house, horse barn, studio building, and haybarn) to fit within the maximum allowed TDSF that would not require the proposed variance request. However, these alternatives do not fit the property owners project objectives. A subdivision application has not been submitted to the City. Subdividing the parcel would not automatically yield 40,000 square feet of TDSF. If the lot were to be subdivided it would have to be done in a manner that does not increase impacts to the onsite ESHA which covers a large portion of the property.

APPEAL ITEM 2: *The appellant states that the "following incorrect and unsubstantiated statements by members of the Planning Commission created an environment that tarnished the credibility and quality of the project in its compliance with the Malibu LIP: A. The project as currently designed does not comply with the 2/3rds Rule, B. The proposed Remedial Grading is unjustified and is not remedial or necessary, C. The subterranean garage is not compliant because there is an exterior wall that daylights, D. The existing grading that took place before Malibu became a city was most likely not done with permits, so we should not allow anymore grading."*

<u>Staff Response</u>

Contrary to the appellant's contention, the Planning Commission did not find (A) that the Project did not comply with the 2/3 rule, (B) that the remedial grading was unjustified or not remedial or necessary, (C) that the garage is not compliant with the LCP because there is an exterior wall that daylights, or that (D) there was illegal grading that caused the proposed grading to exceed the allowed limits. The CDP application was primarily denied because the findings for the TDSF and grading variances could not be made.[3] No bias was shown, and the applicant was granted notice, and an opportunity to be heard, as required by the City's LIP and MMC. Further, the allegation made does not demonstrate a lack of a fair and impartial hearing, and any lack of a fair hearing is now moot as the Planning Commission decision is reviewed by the City Council on a de novo basis and the City Council is not bound by the findings of the Planning Commission.

[3] To be clear, as demonstrated in the attached Planning Commission Agenda Report the proposed project in fact complies with the 2/3rds rule (LIP Section 3.6(K)(2)). In addition, the geotechnical reports that recommend remedial grading were reviewed by the City's geotechnical staff and it was determined that the proposed remedial grading is required and complies with the City's geotechnical guidelines. In addition, the proposed subterranean garage is consistent with LIP Section 3.6(K)(4) "A subterranean garage shall be allowed only one opening for vehicular ingress and egress with a maximum continuous width of thirty-six (36) feet …" Lastly as discussed, based on the building permit history the previous grading plus proposed grading is consistent with the 1,000 cubic yards limitation placed on non-exempt grading.

APPEAL ITEM 3: *The appellant states that "Planning Commission denied approval of both SPR No. 20-078 [remedial grading] and SPR No. 16-028 [for construction up to 28 feet for a pitched roof] based solely on the project's non-compliance with LIP section 3.6.K. / TDSF. As per the Commission Agenda Report, Planning's findings for each of the SPRs showed compliance of the project with the intention of the LIP on the issues of remedial grading (LIP Findings/Section D Finding 1, 2,3,4,6) and building height up to 28' for a pitched roof (LIP Findings/Section E). Therefore, denial of these SPRs was unfair, as they are necessary approvals for considering redesign of the project."*

Staff Response

The project is designed below the maximum height of 28 feet for a pitched roof and remedial grading was determined to be required and complies with the City's geotechnical guidelines and LIP Section 8. While the majority of the findings for the SPR's could be made in the affirmative; the Planning Commission could not determine that the project is consistent with policies and provisions of the Malibu LCP and that the project was consistent with state and local laws because of the proposed square footage (LIP Section 3.6(K)). Had the project been consistent with LIP Section 3.6(K) the project would have then been consistent with the requirements of state and local laws as well as the City's General Plan and LCP.

ENVIRONMENTAL REVIEW: In accord with the Planning Commission's determination, the evidence in the record demonstrates that pursuant to CEQA Guidelines Section 15270, CEQA does not apply to projects which a public agency rejects or disapproves.

PUBLIC CORRESPONDENCE: To date no public correspondence has been received for the subject application.

PUBLIC NOTICE: On June 17, 2021, a Notice of City Council Public Hearing was published in a newspaper of general circulation within the City and a public notice was mailed to the owners and occupants of all properties within a radius of 500 feet of the subject property (Exhibit F).

SUMMARY: Based on the record as a whole, including but not limited to all written and oral testimony offered in connection with this matter, staff recommends that the City Council adopt Resolution No. 21-42, denying the appeal and denying CDP No. 16-025.

EXHIBITS:

A. Resolution No. 21-42
B. Appeal No. 20-004
C. February 16, 2021, Planning Commission Agenda Report
    1. Proposed Planning Commission Resolution No. 21-15
    2. Project Plans
    3. Department Review Sheets
    4. Surrounding Residences
    5. Story Pole Photographs
    6. 500-Foot Radius Map
    7. Public Hearing Notice.
D. Adopted Planning Commission Resolution No. 21-15
E. Applicant Presentation, Dated February 16, 2021
F. Public Hearing Notice

RESOLUTION NO. 21-42

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MALIBU, DETERMINING THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT, AND DENYING APPEAL NO. 21-004 AND DENYING COASTAL DEVELOPMENT PERMIT NO. 16-025 TO CONSTRUCT A NEW 9,360.5 SQUARE FOOT, TWO-STORY SINGLE-FAMILY RESIDENCE, INCLUDING A 1,871.8 SQUARE FOOT SUBTERRANEAN GARAGE, SWIMMING POND, LANDSCAPING, HARDSCAPE, RETAINING WALLS, ONSITE WASTEWATER TREATMENT SYSTEM, EXTERIOR FAÇADE REMODEL OF EXISTING GUEST HOUSE AND ASSOCIATED DEVELOPMENT; INCLUDING VARIANCE NO. 16-013 TO EXCEED THE ALLOWABLE GRADING AND VARIANCE NO. 16-014 TO EXCEED THE ALLOWABLE TOTAL DEVELOPMENT SQUARE FOOTAGE; INCLUDING SITE PLAN REVIEW NO. 16-028 FOR CONSTRUCTION UP TO 28-FEET FOR A PITCHED ROOF AND SITE PLAN REVIEW NO. 20-078 FOR REMEDIAL GRADING AND DEMOLITION PERMIT NO. 19-047 FOR THE DEMOLITION OF THE EXISTING SINGLE-FAMILY RESIDENCE, GARAGE AND ASSOCIATED DEVELOPMENT, LOCATED IN THE RURAL RESIDENTIAL-FIVE ACRE ZONING DISTRICT AT 33603 PACIFIC COAST HIGHWAY (PALMS OF MALIBU RANCH, LLC)

The Ciy Council of the City of Malibu does hereby find, order and resolve as follows:

SECTION 1. Recitals.

A. On May 20, 2016, an application for Coastal Development Permit (CDP) No. 16-025 was submitted to the Planning Department by Laura Coffman. The application was routed to the City Biologist, City Environmental Health Administrator, City geotechnical staff, City Public Works Department, Los Angeles County Fire Department (LACFD) and Los Angeles County Waterworks District No. 29 (WD29) for review.

B. On October 1, 2020, staff conducted a site visit to document site conditions.

C. On August 10, 2020, the application was deemed complete by the Planning Department.

D. On December 15, 2020, a Notice of CDP Application was posted on the subject property.

E. On February 3, 2021, staff conducted a site visit to determine visual impacts and document the story poles installed in January 2021 that demonstrated the location, height and bulk of the proposed project. The story poles were certified by a licensed surveyor.

F. On January 21, 2021, a Notice of Planning Commission Public Hearing was published in a newspaper of general circulation within the City of Malibu and on January 26, 2021, was mailed to all property owners and occupants within a 500-foot radius of the subject property.

G. On February 16, 2021, the Planning Commission held a duly noticed public hearing on the subject application, reviewed and considered the staff report, reviewed and considered written reports, public testimony, and other information in the record.

H. On February 25, 2021, the applicant Lauren Coffman filed an appeal of the Planning Commission's decision.

I. On June 17, 2021, a Notice of City Council Public Hearing was published in a newspaper of general circulation within the City of Malibu and was mailed to all property owners and occupants within a radius of 500 feet from the subject property and all interested parties.

J. On July 12, 2021, the City Council held a duly noticed public hearing on the subject appeal, reviewed and considered the agenda report, reviewed and considered written reports, public testimony, and other information in the record.

SECTION 2. Appeal of Action.

The appellant states the reason for the basis of the appeal was due to a lack of fair or impartial hearing from the Planning Commission.

SECTION 3. Findings for Denying the Appeal.

Based on evidence in the record and in the Council Agenda Report for the project, the City Council hereby makes the following findings of fact, denies the appeal and finds that the evidence in the record supports the required findings for denial of the project. In addition, the relevant analysis, findings of fact, and conclusions set forth by staff in the Council Agenda Report and Planning Commission Agenda Report, as well as the testimony and materials considered by the Planning Commission and City Council are incorporated herein by reference.

The appellant claims they were denied a fair or impartial hearing, but the evidence shows this is not the case as the appellant was given both notice and an opportunity to be heard as required by the LIP and the MMC. The appellant also does not provide evidence of improper bias or a lack of a fair and impartial hearing. In any case this issue is now moot as appellant has been provided a fair and impartial hearing before the City Council which has reviewed the application and appeal on a de novo basis and is not bound by the findings of the planning commission. Further response to the appeal's allegations follow below:

1. While the site is approximately 25 acres in size, there are no limitations or special circumstances that warrant granting relief from the limitation placed on Total Development Square Footage (TDSF) under the LIP, and LIP section 3.6(k) in particular. The findings required for a variance from the TDSF limit cannot be made because adhering to the TDSF limit would not deprive the property owner of benefits enjoyed by surrounding properties, would constitute a special privilege and would be in conflict with the general purposes and intent of both the LCP and General plan. General Plan Land Use Policy 2.3.2 states that the City shall discourage mansionization by establishing limits on square footage and no evidence was presented that demonstrated how granting the variance would be consistent with General Plan's goals and policies. More specifically the Council finds the appellant has not met its burden and that findings 13.26.5(A), (C), (D), (E), (F) and (G) cannot be made based on the evidence presented. The property can be developed consistent with the LCP without exceeding the TDSF limit of 11,172-square feet. The appellant seeks to construct a project that would exceed the TDSF limit for the property by approximately 46 percent which would be a significant departure from the LIP and a special privilege that has not been granted to other properties in the vicinity with the same zoning classification. No other properties in the City have been granted such a TDSF increase. In addition, no application for a subdivision has been submitted

to the City, and comparison to the amount of development that could be allowed in such a circumstance does not provide grounds for granting the requested variance

2. Contrary to the appellant's contention, the Planning Commission did not find (A) that the project did not comply with the 2/3 rule, (B) that the remedial grading was unjustified or not remedial or necessary, (C) that the garage is not compliant with the LCP because there is an exterior wall that daylights, or that (D) there was illegal grading that caused the proposed grading to exceed the allowed limits. The CDP application was primarily denied because the findings for the TDSF and grading variances could not be made. In addition, no evidence of bias or an unfair hearing has been presented, as discussed above.

3. The project is designed below the maximum height of 28-feet for a pitched roof and remedial grading was determined to be required and complies with the City's geotechnical guidelines and LIP Section 8. While the majority of the findings for the SPR's could be made in the affirmative; the City Council could not determine that the project is consistent with policies and provisions of the Malibu LCP. When determining that the project is consistent with the policies and provisions of the Malibu LCP, the City Council must state that the project as designed is consistent with *all* applicable development and design standards of the LCP, specifically LIP Sections 8.3 and 3.6(K).

Council hereby adopts staff's analysis and conclusions from the staff report regarding each of the asserted grounds for appeal and for these reasons the appeal is denied and the project is denied. In summary, the Council finds that the evidence in the record demonstrates the project is not consistent with the residential development standards in the LCP and MMC.

SECTION 4. Environmental Review.

Pursuant to the authority and criteria contained in the California Environmental Quality Act (CEQA), the City Council has analyzed the proposed project. The City Council finds that Pursuant to CEQA Guidelines Section 15270, CEQA does not apply to projects which a public agency rejects or disapproves.

SECTION 5. Coastal Development Permit Findings.

Based on substantial evidence contained within the record and pursuant to LIP including Sections 13.7(B) and 13.9, the City Council adopts the analysis in the agenda report, incorporated herein, the findings of fact below, and denies CDP No. 16-025 for construction of a new 9,360.5 square foot, two-story single-family residence, including a 1,871.8 square foot subterranean garage, swimming pond, landscaping, hardscape, retaining walls, onsite wastewater treatment system, exterior façade remodel of existing guest house and associated development; including, VAR No. 16-014 to exceed the allowable TDSF, SPR No. 16-028 for construction up to 28 feet for a pitched floor, SPR No. 20-078 for remedial grading and DP No. 19-047 for the demolition of the existing single-family residence, garage and associated development.

The proposed project has been determined to not be consistent with all applicable requirements of the LCP, specifically LIP Section 3.6(K) in that the project is exceeding the allowable TDSF on site. The required findings for denial of the requested variance are made herein.

A. General Coastal Development Permit (LIP Chapter 13)

1. The project is located in the RR-5 residential zoning district, an area designated for residential uses. A single-family residence and associated development are permitted uses. The project has been reviewed for conformance with the LCP by the Planning Department, City Biologist, City Environmental Health Administrator, City Public Works Department, City geotechnical staff, WD29, and the LACFD. As discussed herein, based on submitted reports, project plans, visual analysis and site investigations, the proposed project, does not, conform to the LCP due the fact that the LIP places a maximum TDSF of 11,172 square feet on a parcel. The proposed project is requesting to exceed the allowable TDSF by 5,241.5 square feet.

2. A smaller residence could be proposed for the project that results in less grading and compliance with the maximum allowable TDSF. The proposed project does not comply with the allowable TDSF. However, it does comply with the total impermeable lot coverage, and setback requirements. Additionally, the proposed development is sited on an existing approved development pad and does not result in fuel modification encroachments into the ESHA buffer on the northern, eastern, or western side of the property. Siting the proposed development on the existing approved development pad minimizes grading. Limiting grading on the site reduces potential environmental impacts such as site disturbance, truck trips and noise to the area. No existing blue water views will be blocked from neighboring properties by the proposed development. The proposed development is visible from public viewing areas (PCH) however it is sited in the same location as the existing two-story single-family residence. It is anticipated that a smaller residence would be an environmentally superior alternative while accomplishing the project objectives requested by the property owner and avoid the TDSF variance request.

B. Variance to Exceed the Allowable Total Development Square Footage (LIP Section 13.26)

1. The project is proposing an additional 5,241.5-square feet beyond the allowable TDSF per LIP Section 3.6(K). Denying the variance would not result in depriving the property of privileges enjoyed by other property in the vicinity and under identical zoning classification (RR-5). The project can be redesigned to fit within the maximum 11,172 square feet TDSF allowed and still be consistent with surrounding development.

2. Granting the requested variance to allow the additional 5,241.5-square feet beyond the allowable TDSF will not be detrimental to the public interest, safety health or welfare, and will not be detrimental or injurious to the property or improvements in the same vicinity and zone in which the property is located. The project has been reviewed and conditionally approved by the City Biologist, City Environmental Health Administrator, City Public Works Department, City geotechnical staff, WD29, and the LACFD.

3. Granting the variance will constitute a special privilege to the applicant as the variance would allow the project to exceed the allowable TDSF by 5,241.5-square feet above the 11,172 square feet allowed per the LIP Section 3.6(K). Properties within a 500-foot radius of the subject property are developed with habitable structures that range in size from 1,232-square feet to 7,500-square feet. The proposed project includes 11,442-square feet of habitable area (excluding garages and covered porches).

4. The granting of the variance is in conflict with the objectives and policies of the LCP as the project would be allowed to exceed the allowable TDSF by 5,241.5-square feet above the 11,172 square feet allowed per the LIP Section 3.6(K).

5. The variance request is not consistent with the purpose and intent of the zone in which the site is located as it is it is requesting to exceed the allowable TDSF set forth in LIP Section 3.6(K).

6. The site is approximately 25 acres in size and is physically suitable for the proposed variance and may accommodate additional square footage due to the 25-acre lot area; however, LIP Section 3.6(K) states that the maximum TDSF of a residential lot shall be 11,172 square feet.

7. The variance does not comply with all requirements of the local law as it deviates from the requirements of the LCP, specifically LIP Section 3.6(K).

C. Scenic, Visual and Hillside Resource Protection Chapter (LIP Chapter 6)

1. The City Council cannot make all of the required findings for LIP Chapter 6 because as previously stated in Section A, the proposed project, as designed is not the least environmentally damaging alternative because a smaller residence could be proposed for the project which would reduce the size of the proposed structure to be consistent with the LCP.

D. Hazards (LIP Chapter 9)

1. The City Council cannot make all of the required findings for LIP Chapter 9 because as previously stated in Section A, the proposed project, as designed is not the least environmentally damaging alternative because a smaller residence could be proposed for the project which would reduce the size of the proposed structure.

E. Demolition Permit Findings (MMC Chapter 17.70)

1. This CDP application is being processed concurrently with DP No. 19-047, approval of the demolition permit is subject to the approval of CDP No. 16-025.

SECTION 6. City Council Action.

Based on the foregoing findings and evidence contained within the record, the City Council hereby denies CDP No. 16-025, VAR No. 16-014, SPR No. 16-028, SPR No. 20-078 and DP No. 19-047.

SECTION 7. The City Clerk shall certify the adoption of this Resolution.

PASSED, APPROVED AND ADOPTED this 12th day of July 2021.

PAUL GRISANTI, Mayor

ATTEST:

KELSEY PETTIJOHN, Acting City Clerk
(seal)

APPROVED AS TO FORM:
THIS DOCUMENT HAS BEEN REVIEWED
BY THE CITY ATTORNEY'S OFFICE

JOHN COTTI, Interim City Attorney

RECEIVED
FEB 25 2021
PLANNING DEPT.

City of Malibu

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PLANNING DEPARTMENT
COASTAL DEVELOPMENT PERMIT
NOTICE OF APPEAL CHECKLIST

Actions Subject to Local Appeal: Pursuant to Local Coastal Program (LCP) Local Implementation Plan (LIP) Section 13.20.1 (Local Appeals), a decision or any portion of the decision of the Planning Director may be appealed to the Planning Commission by an aggrieved person, and any decision of the Planning Commission may be appealed to the City Council by an aggrieved person.

Deadline and Fees: Pursuant to LIP Section 13.20.1, an appeal shall be filed with the City Clerk within 10 days following the date of action for which the appeal is made, as indicated in the decision. If the tenth day falls on a weekend or a City-recognized holiday, the deadline shall extend to the close of business at City Hall on the first business day (whether whole or partial) following the weekend or a City-recognized holiday. Appeals shall be accompanied by the filing fee of $500 as specified by the City Council.

To perfect an appeal, the form must be completed, together with all the necessary attachments, and must be timely received by the City Clerk either in person or by mail addressed to City of Malibu, Attn: City Clerk, 23525 Stuart Ranch Road, Malibu, CA 90265. For more information, contact Patricia Salazar, Senior Administrative Analyst, at (310) 456-2489, extension 245.

Part I. Project Information

1. What is the file number of the Coastal Development Permit you are appealing?
   CDP 16 - 025
2. On what date was the decision made which you are appealing?
   FEBRUARY 16, 2021
3. Who made the decision you are appealing?

   ☐ Planning Director ☑ Planning Commission

4. What is the address of the project site at issue?
   33603 PACIFIC COAST HIGHWAY

Part II. Appeal Summary

1. Indicate your interest in the decision by checking the appropriate box.

   ☑ I am the Applicant for the project

   ☐ I am the neighbor

   ☐ Other (describe)

   _____

   _____

2. If you are not the applicant, please indicant the applicant's name:

   _____

3. Indicate the nature of your appeal.

   a) Are you appealing the ☐ approval or ☑ the denial of the application or ☐ a condition of approval?

   b) Each approval is accompanied by a list of specific conditions. If you are appealing one or more of the conditions of approval, list the condition number and state the grounds for your appeal. (Attach extra sheets if necessary.)

   _____

   _____

4. Check the appropriate box(es) to indicate which of the following reasons forms the basis of your appeal:

   ☐ The findings or conditions are not supported by the evidence, or the decision is not supported by the findings: or

   ☑ There was a lack of fair or impartial hearing: or

   ☐ The decision was contrary to law.

   You must next provide a specific statement in support of each of the bases for appeal that you have checked above. Appeals that are stated in generalities, legal or otherwise, are not adequate. (Attach extra sheets if necessary.)

   SEE ATTACHED.

   _____

   _____

Each coastal development permitting decision made by the Planning Director or the Planning Commission is accompanied by written findings. The written findings set forth the basis for the decision. If you have checked the first box in this section as a ground for your appeal, you must indicate the specific finding(s) you disagree with and give specific reasons why you believe the finding(s) is/are not supported by the evidence or why the decision is not supported by the findings. Appeals stated in generalities, legal or otherwise, are not adequate. (Attach extra sheets if necessary.)

_____
_____
_____
_____
_____
_____
_____
_____
_____

Part III. Appeal Checklist

ALL of the following must be timely filed to perfect an appeal.

1. ☑ Completed Appeal Checklist (This form with appellant's signature)

2. ☑ Appeal Fee $750

   The appeal fee must be submitted in the form of a check or money order made payable to the City of Malibu. Cash will not be accepted.

3. ☐ Mailing Labels and Radius Maps for Public Notice to Property Owners and Occupants
   - SEE MAILING LABELS AND RADIUS MAP ON FILE WITHIN 6 MONTHS.

   Public Notice of an appeal must conform to the manner in which the original notice was given. The notice radius for appealable CDPs and non-appealable CDPs that do not require a public hearing is 100 feet for property owners and residents. The notice radius for non-appealable CDPs that require a public hearing is 300 feet for property owners and 100 feet for residents.

   The mailing labels and radius map **must be certified** by the preparer (a form is available at the public counter): certification may not be more than six months prior to the date of submittal; the radius map must be provided on an 8½" x 11" paper; the mailing labels must be printed on 8½" x 11" paper, 3 columns, 10 rows (e.g. Avery 5160).

Part IV. Signature and Appellant Information

I hereby certify that the appeal submittal contains all of the above items. I understand that if any of the items are missing or otherwise deficient, the appeal is ineffective and the filing fee may be returned. IN ORDER TO PERFECT AN APPEAL, ALL APPEAL SUBMITTALS MUST BE COMPLETE BY THE DEADLINE. NO EXTENSIONS WILL BE ALLOWED FOR APPELLANTS WHO ONLY PARTIALLY COMPLY WITH THESE REQUIREMENTS AS OF THE DEADLINE. IF AN APPEAL IS NOT PERFECTED BY THE DEADLINE, THE DECISION BECOMES FINAL.

LAUREN COFFMAN
PRINT APPELLANT'S NAME

818.419.1377
TELEPHONE NUMBER

APPELLANT'S SIGNATURE

FEBRUARY 25, 2021
DATE

Appellant's mailing address: 21781 VENTURA BLVD. #527 WOODLAND HILLS CA 91364

Appellant's email address: lauren@coffmandesign.com

OFFICE USE ONLY

Action Appealed: _____

Appeal Period: _____

Date Appeal Form and required documents submitted: _____ Received by: _____

Appeal Completion Date: _____ by: _____
(Name, Title)

COFFMANDESIGN
COLLABORATIVE

February 24, 2021

Planning Department
City Of Malibu

Re: CDP 16-025 / 33603 Pacific Coast Highway
Notice Of Appeal / Part II / Appeal Summary / Item 4

For the following reasons, I believe *there was a lack of fair or impartial hearing.*
1. The above referenced Project is a 24.9 acre equestrian and agricultural property with 15.4 buildable acres. Historically, the property has been developed as an equestrian riding camp with a continuous conditional use permit as such from 1974 – 1994. The existing mature avocado orchard was established during this time. The Owner of the above referenced property with great passion desires to maintain this property as one magnificent parcel and create a New Main Residence that is more in scale with the property, as mentioned in the Commission Agenda Report (page 17) / LIP Findings / .C.Variance To Exceed The Allowable Total Development Square Footage / Finding 8. The property is composed of a 3,648 SF Horsebarn, a 452 SF Haybarn, and a 1,146 SF Studio Building, all of which support the Equestrian activities on the property. The owner has maintained the use of the lower arena. All of these building pads were developed with permits during the life time of the Equestrian Facility, as was the Main Entry Road, 3,385 SF House and 1,807 Bunk House, now used as a Guest House. We believe that maintaining this parcel as one property protects the *rural character preserved through agricultural and horticultural land uses.* (LU Policy Objective 5:1) and, as per the City Of Malibu General Plan in reference to Agricultural and Equestrian use: *Traditional farming and ranching is practiced in only a minute fraction of land within the City. Horticulture and horse ranches are more prevalent, usually as a transitional use or an adjunct to residential uses.* ***Residents view preservation of these uses as important to the preservation of the rural atmosphere of the community.*** The 15. buildable acres has the possibility of being subdivided into 4 parcels, which would allow a TDSF, on all four parcels in the same footprint as the current parcel to be **40,677 SF of TDSF**. The Owner is requesting an additional 5,241.5 SF to build a larger Main House and maintain this open space as one parcel. The Planning Commission **would not discuss this option**, as an option that would benefit the Malibu Community by maintaining more open space, provide fewer driveways and 12 foot high privacy hedges along Pacific Coast Highway, and maintain the rural character of this Malibu neighborhood. During the project site visits, several commissioners said the owner should subdivide the property to obtain the additional square footage, because subdivisions are legal and meet the code. I strongly believe that Subdivision should not be the ONLY solution to the unfair penalizing of large properties: at 5 buildable acres, the TDSF of 11,172 SF is equal to 5% of the property net SF. For 15.4 buildable acres, the TDSF of 11,172 SF is equal to 1.7% of the property net SF. I strongly believe that the policy of subdivision is not in the spirit of the Land use policy for Malibu.

2. The following incorrect and unsubstantiated statements by members of the Planning Commission created an environment that tarnished the credibility and quality of the project in its compliance with the Malibu LIP:

ARCHITECTURE
21781 VENTURA BLVD
SUITE 527
WOODLAND HILLS,CA 91364
T 818.980.9989
F 818.980.9996
WWW.COFFMANDESIGN.COM

A. *The project as currently designed does not comply with the 2/3s Rule;* This is a false statement and the project's compliance is stated in the Commission Agenda Report Table 3 – LCP Zoning Conformance, located on page 8;

B. *The proposed Remedial Grading is unjustified and is not remedial or necessary;* As per the Commission Agenda Report Page 19 / Section E. Site Plan Review / SPR No. 20-078, the remedial grading areas have been reviewed by the city geotechnical staff to be necessary to meet current city criteria for safe engineered slope conditions and therefore the approval of the SPR is recommended by the Planning Department.

C. *The subterranean garage is not compliant because there is an exterior wall that daylights;* The width of the subterranean garage and floor above are both 69' wide, and they are directly in line with each other along the south face, as required by LIP 3.6.K.4.

D. *The existing grading that took place before Malibu became a city was most likely not done with permits, so we should not allow anymore grading;* All the existing grading, arenas, Horsebarn pad, Main House pad, Bunk House pad, tennis court, etc., are indicated on the Conditional Use Permit Case No. 85-005-(4) Exhibit A / Site Plan. I have Los Angeles County permit records for this grading in my file.

3. The Planning Commission denied approval of both SPR No. 20-078 and SPR No. 16-028 based solely on the project's non-compliance with LIP section 3.6.K. / TDSF. As per the Commission Agenda Report, Planning's findings for each of the SPRs showed compliance of the project with the intention of the LIP on the issues of remedial grading (LIP Findings/Section D Finding 1, 2,3,4,6) and building height up to 28' for a pitched roof (LIP Findings/Section E). Therefore, denial of these SPRs was unfair, as they are necessary approvals for considering redesign of the project.

Respectfully submitted,

Lauren Coffman

COFFMANDESIGN
COLLABORATIVE

33603PCH/NoticeOfAppealPart IIAppealSummaryItem4.doc

Commission Agenda Report

Planning Commission Meeting
02-16-21
Item 5.C.

To: Chair Jennings and Members of the Planning Commission

Prepared by: Didier Murillo, Associate Planner

Reviewed: Richard Mollica, Planning Director

Date prepared: February 4, 2021 Meeting date: February 16, 2021

Subject: Coastal Development Permit No. 16-025, Variance Nos. 16-013 and 16-014, Site Plan Review Nos. 16-028 and 20-078 and Demolition Permit No. 19-047 – An application for the construction of a new two-story single-family residence, demolition of existing single-family residence, exterior façade remodel of existing guest house, and associated development

Location: 33603 Pacific Coast Highway, not within the appealable coastal zone
APN: 4473-002-002
Owner: Palms of Malibu Ranch, LLC

RECOMMENDED ACTION: Adopt Planning Commission Resolution No. 21-15 (Attachment 1) denying Coastal Development Permit (CDP) No. 16-025 for construction of a new 9,360.5-square foot, two-story single-family residence, including a 1,871.8-square foot subterranean garage, swimming pond, landscaping, hardscape, retaining walls, onsite wastewater treatment system (OWTS), exterior façade remodel of existing guest house and associated development; including Variance (VAR) No. 16-013 to exceed the allowable grading, VAR No. 16-014 to exceed the allowable Total Development Square Footage (TDSF), Site Plan Review (SPR) No. 16-028 for construction up to 28 feet for a pitched floor, SPR No. 20-078 for remedial grading and Demolition Permit No. 19-047 for the demolition of the existing single-family residence, garage and associated development, located in the Rural Residential-Five Acre (RR-5) zoning district at 33603 Pacific Coast Highway (PCH) (Palms of Malibu Ranch, LLC).

DISCUSSION: This agenda report provides a project overview, a summary of project setting and surrounding land uses, a description of the project scope, an analysis of the project's consistency with applicable provisions of the Malibu Local Coastal Program (LCP) and Malibu Municipal Code (MMC), and environmental review pursuant to CEQA.

The analysis and findings contained herein demonstrate the project is not consistent with the LCP and MMC.

Project Overview

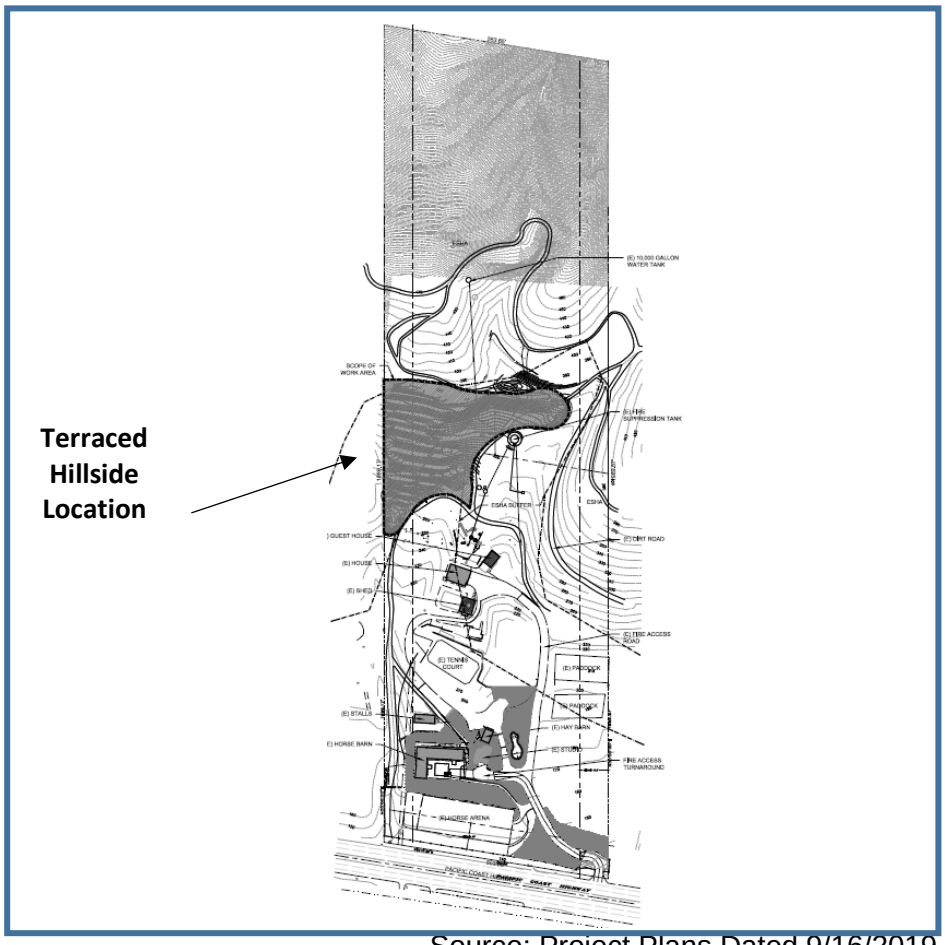
The subject parcel is approximately 25 acres in size and is located on the inland side of PCH in western Malibu (Figure 1). The property has historically been used as an equestrian facility and is currently developed with a 3,385-square foot two-story single-family residence, 552-square foot garage, 1,807-square foot guest house, 3,648-square foot horse barn, 1,146-square foot studio building, a 452-square foot haybarn, a tennis court, three water tanks, corrals, OWTS, hardscape and fencing. The existing TDSF is 10,990-square feet and the allowable TDSF for the subject site is 11,172-square feet. The property is over one thousand feet deep, and the northerly portions are steeply sloped. These areas, which are substantially north of the proposed site of construction, are relatively undisturbed and are mapped as ESHA on the LCP ESHA map. The subject property is characterized by slopes ranging from flat to steeper than 1:1, but the site of construction is located on slopes of 3:1 or flatter. According to LCP Park Lands Map, no trails are located on the project site. The nearest trail is the Nicholas Ridge Trail which runs along the adjacent parcel to the west approximately 400 feet to the west of the subject property.

Figure 1 – Aerial Photograph

Source: GovClarity 2021

The City is aware that an unpermitted orchard and grading, resulting in a terraced hillside, are present on the property. The unpermitted orchard and terraced hillside are located on the northern portion of the hillside and are part of this application requested to be permitted after-the-fact (Figure 2).

Figure 2 – Terraced Hillside Location



Source: Project Plans Dated 9/16/2019

The subject application proposes to demolish the existing 3,385-square foot two-story, single-family residence and 552-square foot garage resulting in a remaining 7,053-square feet of TDSF on site. The application is then proposing construction of a new 9,360.5-square foot two-story single-family residence including a subterranean garage resulting in a TDSF of 16,413.5-square feet. Pursuant to LIP Section 3.6.K[1] the resulting TDSF will exceed the maximum allowed by 5,241.5-square feet.

[1] Pursuant to LIP Section 3.6.K, Residential Structure Size. Except as specifically provided herein and where otherwise restricted by provisions of the ESHA Overlay Ordinance (Chapter 4), of the Malibu LIP, and as indicated on the Total Development Square Footage Structure Size Chart, the total development square footage associated with the construction of a single-family residence on a legal lot equal to or greater than 5 acres shall not exceed a total of 11,172 square feet…

Furthermore, the subject site has obtained previous approvals in the past (APR No. 07-007, 407 cubic yards, APR No. 10-038, 384 cubic yards, APR No. 12-049, 152 cubic yards) resulting in 943 cubic yards of non-exempt grading. The subject application is proposing an additional 217 cubic yards of non-exempt grading which will exceed the maximum allowed amount by 160 cubic yards per LIP Section 8.3.B[2].

The project also includes a swimming pond, landscaping, hardscape, retaining walls, OWTS, exterior façade remodel of the existing guest house and associated development including variance requests to exceed the allowable TDSF and grading (Attachment 2).

The existing single-family residence that is proposed to be demolished was built in 1973 prior to Cityhood. The proposed two-story single-family residence will be located within the previously disturbed building pad and determined to be within the existing developed envelope thus exempt from a Biological assessment and Environmental Review Board (ERB) per LIP 4.4.4.

According to a Biological Inventory prepared on March 23, 2003, by Steven G. Nelson, approximately 30 to 40 percent of the property has been previously developed. These developed and disturbed areas are found in the lower elevations of the subject property. Two well defined drainages courses flow from the hillside and down into the existing developed area. Where the drainage courses flow through the developed portion of the property they do not contain riparian vegetation. As appears to be typical along the coastline in the vicinity of the subject property, historical land uses, and past disturbances have resulted in the removal of native vegetation at lower elevations and in areas of moderate topography creating fairly distinctive breaks in native and disturbed vegetation types. In some areas of the property that appear to have been disturbed in the past, native scrub is re-establishing itself. These areas support a mosaic of scrub patches within otherwise annual grassland vegetation. According to the City ESHA and Marine Resources Maps an ESHA is delineated on the property. This ESHA is believed to reflect the presence of coastal sage scrub on a portion of the site; it does not appear to follow drainage patterns. In the case of the subject property, the drainages exhibit substantial disturbance and a high density of non-native exotic and invasive species (annual grassland) and are devoid of native vegetation in the lower portions of the property. Therefore, these features of the property are not ESHA. Furthermore, the City Biologist determined based on review of the site and documentation, that no new impacts to ESHA are anticipated as the proposed development is sited entirely within the previously approved development pad and no fuel modification will extend into ESHA or ESHA buffer.

The subject property is not located within the Appeal Jurisdiction as depicted on the Post-LCP Certification Permit and Appeal Jurisdiction Map. Furthermore, the subject property

[2] Pursuant to LIP Section 8.3.B, Maximum Quantity of Grading. Notwithstanding any other provisions of the Malibu LIP, grading per lot of single-family residential development, per acre of multi-family residential development, per acre of commercial development, or per acre of institutional development (total cut and fill) is limited to 1,000 cubic yards…

does not contain mapped trails according to the LCP Park Lands Map. No construction is proposed on slopes steeper than 30 percent, therefore, the Hillside Residential Development[3] regulations do not apply.

The applicant has submitted materials to support the findings necessary for granting the variances. After careful review of the materials and all the information in the record, staff has concluded that while the site is approximately 25 acres in size and may accommodate additional square footage, the LIP places a maximum TDSF limit of 11,172-square feet on the subject property. Additionally, there are feasible alternatives for a smaller single-family residence or consolidation of structures to fit within the maximum allowed TDSF that would not require the proposed variances (including grading). As proposed, the project is not consistent with the LCP and MMC.

Surrounding Land Uses and Project Setting

As previously shown on Figure 1, the parcel is a rectangular shaped inland lot and is approximately 25 acres in size. Surrounding residential land uses to the east and south are in the RR-5 (vacant parcels) and RR-2 zoning districts. The parcel to the immediate west and north is zoned Commercial Recreational (CR) and currently contains the Malibu Riding and Tennis Club. The existing residences surrounding the project site include a mix of one- and two-story, single-family residences.

Table 1 provides a summary of the lot dimensions and lot area of the subject parcel.

Table 1 - Property Data	
Lot Depth	1,996 ft.
Lot Width	552 ft.
Gross Lot Area	1,087,392.3 sq. ft. (24.9 acres)
Net Lot Area*	674,916.3 sq. ft. (15.4 acres)

* Net Lot Area = Gross Lot Area minus the area of public or private access easements and 1 to 1 slopes.

[3] Pursuant to MMC Section 17.02.060, “Hillside residential development” means a residential development occurring on a parcel of land on the inland side of Pacific Coast Highway on a proposed development area located on slopes over thirty percent and which will result in grading on slopes over 30 percent, as calculated on a slope analysis utilizing ten foot contour lines.

Table 2 provides a summary of the neighboring surrounding land uses and lot sizes.

Table 2 – Surrounding Land Uses				
Direction	**Address**	**Lot Size**	**Zoning**	**Land Use**
North and West	APN 4473-002-020	92.88 acres	CR	Commercial
East	APN 4473-002-016	5.56 acres	RR-5	Vacant
South	33634 PCH	1.99 acres	RR-2	Single-Family Residence
South	33626 PCH	0.83 acres	RR-2	Single-Family Residence
South	33616 PCH	0.68 acres	RR-2	Single-Family Residence
South	33610 PCH	0.45 acres	RR-2	Vacant
South	33572 PCH	1.1 acres	RR-2	Single-Family Residence

Source: GovClarity, 2020

While not required for conformance review by City codes or Council direction, staff has included for reference, at the Commission's request, a table showing the Los Angeles County Tax Assessor's square foot records for properties within a 500-foot radius of the subject property as shown in Attachment 4 (Surrounding Residences). This County square footage information is not the equivalent of the City's total development square footage (TDSF) metric since it is based on the assessor's rules for property valuation. The table shows that the properties within a 500-foot radius of the subject property are developed with habitable structures that range in size from 1,232-square feet to 7,500-square feet. The proposed project includes 11,442-square feet of habitable area (excluding garages and covered porches). The lot size is on the larger end of the range of sizes in the area, and the allowable TDSF reflects that.

Project Description

The proposed scope of work is as follows (Attachment 2 – Project Plans):

Demolition/Removal

- Demolition of existing 3,385 square foot single-family residence;
- Demolition of patio;
- Demolition of concrete road;
- Demolition of swimming pool;
- Demolition of existing 552 square foot garage; and
- Abandonment of existing OWTS.

Construction

- A new 9,360.5-square foot, two-story, single-family residence not exceeding 28 feet in height, including an 871-square foot six-car subterranean garage/basement;
- Swimming pond;
- Decks;
- Hardscaping;
- Open air trellis;
- Landscaping;
- Terracing and detention basin;
- Retaining walls (not to exceed six feet in height);
- Fire department turnaround and driveway improvements;
- 217 cubic yards of non-exempt grading; and
- OWTS.

Additional Discretionary Requests

- VAR No. 16-013 to exceed the allowable grading by 160 cubic yards;
- VAR No. 16-014 to exceed the allowable TDSF by 5,241.5 square feet;
- SPR No. 16-028 for construction up to 28 feet for a pitched roof;
- SPR No. 20-078 for remedial grading; and
- DP No. 19-047 for the demolition of the existing single-family residence, garage and associated development.

LCP Analysis

The LCP consists of the LUP and the LIP. The LUP contains programs and policies implementing the Coastal Act in Malibu. The LIP carries out LUP policies and contains specific requirements to which every project requiring a coastal development permit must adhere.

The LIP contains 14 chapters that potentially apply depending on the nature and location of the proposed project. Of these, five are for conformance review only and require no findings: 1) Zoning; 2) Grading; 3) Archaeological/Cultural Resources; 4) Water Quality; and 5) OWTS. These chapters are discussed in the *LIP Conformance Analysis* section of this report. The nine remaining LIP chapters contain specific findings: 1) Coastal Development Permit; 2) ESHA; 3) Native Tree Protection; 4) Scenic, Visual and Hillside Resource Protection; 5) Transfer of Development Credits; 6) Hazards; 7) Shoreline and Bluff Development; 8) Public Access; and 9) Land Division.

For the reasons described herein, based upon the project site, the scope of work and substantial evidence in the record, only the following chapters and associated findings are applicable or required for the project: Coastal Development Permit, including the required findings for the Variance requests for grading and TDSF and Site Plan Review requests for construction above 18-feet in height and remedial grading, Scenic, Visual and Hillside Resource Protection and Hazards. These chapters are discussed in the *LIP Findings*

section of this report. The findings required by MMC Section 17.70.060 for the demolition permits are also discussed.

LIP Conformance Analysis

The proposed project has been reviewed by the Planning Department, City Biologist, City Environmental Health Administrator, City Public Works Department, City geotechnical staff, Los Angeles County Waterworks District No. 29 (WD29), and the LACFD (Attachment 3 – Department Review Sheets). WD29 will provide a Will Serve Letter to the applicant stating that WD29 can serve water to the property.

Zoning (LIP Chapter 3)

The project is subject to non-beachfront residential development and design standards set forth under LIP Sections 3.5 and 3.6. Table 3 provides a summary and indicates the proposed project meets those standards, with the inclusion of the site plan review, and requires a variance for TDSF and grading.

Table 3 – LCP Zoning Conformance			
Development Requirement	**Allowed/ Required**	**Proposed**	**Comments**
SETBACKS (ft.)			
Front Yard (20% or 65 ft., whichever is less)	65 ft.	536 ft.	Complies
Rear Yard	299 ft., 5 in.	1,292 ft.	Complies
Side Yard (10% - Minimum)	55 ft., 3 in.	132 ft.	Complies
Side Yard (25% - Cumulative)	138 ft.	446 ft.	Complies
PARKING			
Enclosed	2	6	Complies
Unenclosed	2	2	Complies
TOTAL DEVELOPMENT SQUARE FOOTAGE	*11,172 sq. ft.*	*16,413.5 sq. ft.*	*VAR No. 16-014*
IMPERMEABLE COVERAGE	25,000 sq. ft.	20,311.4 sq. ft.	Complies
HEIGHT (ft.)	*18 ft.*	*28 ft.*	*SPR No. 16-028*
2/3rds Rule: 1st Floor x 2/3rd = 2nd Floor (sq. ft.)	3,455 sq. ft. x 2/3 = 2,303 sq. ft.	2,114.5 sq. ft.	Complies
SITE OF CONSTRUCTION	3 to 1	3 to 1 and flatter	Complies
NON-EXEMPT GRADING	*< 1,000 cubic yards*	*1,160 cubic yards*	*VAR No. 16-013*
FENCES/WALLS/HEDGES/ GATES			

Table 3 – LCP Zoning Conformance			
Development Requirement	**Allowed/ Required**	**Proposed**	**Comments**
Front Yard	6 ft.; lower 42 in. view impermeable	None proposed	Complies
Rear Yard	6 ft.	None Proposed	Complies
Side Yards	6 ft.	None Proposed	Complies

As shown in Table 3, the proposed project exceeds the required TDSF allowed on site; while the site is approximately 25 acres in size and may accommodate additional square footage, the LIP places a maximum TDSF of 11,172-square feet on the subject property. The proposed project is requesting to exceed the allowable TDSF by 5,241.5-square feet, cumulative for all existing and proposed structures.

Additionally, the proposed project is exceeding the 1,000 cubic yard limit for non-exempt grading. Previous approvals from the City have resulted in 943 cubic yards of non-exempt grading. The subject application is proposing an additional 217 cubic yards of non-exempt grading which will exceed the maximum allowable amount by 160 cubic yards and therefore, the applicant is requesting a variance.

The applicant is aware that staff is unable to make the necessary findings to grant both the variances and chose to move forward with the recommendation of denial.

Grading (LIP Chapter 8)

As summarized in Table 4, the project includes 217 cubic yards of non-exempt grading and 7,521 cubic yards of remedial grading. However, as previously discussed, past approvals from the City have resulted in 943 cubic yards of non-exempt grading. As proposed the past and proposed nonexempt grading will exceed the 1,000 cubic yard limit. Remedial grading is defined as grading necessary to mitigate an environmental hazard as recommended by a geotechnical report approved by City geotechnical staff. The proposed remedial grading has been reviewed and conditionally approved by the City geotechnical staff. The remedial grading is described in more detail in Section E (Site Plan Review) of this report.

Table 4 – LCP Grading Conformance for the Subject Application						
	Exempt**			**Non-Exempt**	**Remedial**	**Total**
	R&R*	Understructure	Safety			
Cut	0 cy	1,225 cy	1813 cy	135 cy	2,802 cy	5,975 cy
Fill	0 cy	244 cy	3755 cy	82 cy	4,719 cy	8,800 cy
Total	**0 cy**	**1,469 cy**	**5,568 cy**	**217 cy**	**7,521 cy**	**14,775 cy**
Import	0 cy	0 cy	1,942 cy	0 cy	1,917 cy	3,859 cy
Export	0 cy	981 cy	0 cy	53 cy	0 cy	2,347 cy

*Note: R&R= Removal and Recompaction; cy = cubic yards

**Exempt grading includes all Removal and Recompaction (R&R), understructure and safety grading. Safety grading is the incremental grading required for fire department access (such as turnouts, hammerheads and turnarounds and any other increases in driveway width above 15 feet required by the Los Angeles County Fire Department).

Archaeological / Cultural Resources (LIP Chapter 11)

LIP Chapter 11 requires certain procedures be followed to determine potential impacts on archaeological resources. Pursuant to these requirements, staff has reviewed the City of Malibu Cultural Resources Sensitivity Map and reviewed a prior Phase I archeological report prepared by Brandon S. Lewis, PHD., ROPA Certified, dated November 2010, for development on the property. The Phase I archeological study determined that the subject property has a very low potential for containing any archaeological resources. Accordingly, it has been determined that no further study is required at this time.

Nevertheless, a condition of approval is included which states that in the event that potentially important cultural resources be found in the course of geologic testing or during construction, work shall immediately cease until a qualified archaeologist can provide an evaluation of the nature and significance of the resources and until the Planning Director can review this information.

Water Quality (LIP Chapter 17)

The City Public Works Department reviewed and approved the proposed project for conformance to LIP Chapter 17 requirements for water quality protection. A standard condition of approval for this project requires that prior to the issuance of any development permit, a Local Storm Water Pollution Prevention Plan incorporating construction-phase Erosion and Sediment Control Plan and Best Management Practices, must be approved by the City Public Works Department. Additionally, the ocean between Latigo Point and the western City limits has been established by the State Water Resources Control Board as an Area of Special Biological Significance (ASBS) as part of the California Ocean Plan. As such, the applicant's drainage system is required to retain all non-storm water runoff on the property without discharge to the ASBS, and to maintain the natural water quality within the ASBS by treating storm runoff for pollutants in residential storm runoff that would cause a degradation of ocean water quality in the ASBS. A condition is also included requiring a Water Quality Mitigation Plan. With the implementation of these conditions, the proposed project conforms to the water quality protection standards of LIP Chapter 17.

Wastewater Treatment Systems Standards (LIP Chapter 18)

LIP Chapter 18 addresses OWTS. LIP Section 18.7 includes specific siting, design, and performance requirements. The project includes an OWTS to serve the proposed development, which includes two septic tanks, a 4,000-gallon Xerxes Tank and a 1,500-gallon tank. The OWTS will serve the proposed single-family residence with eight bedrooms and 97 fixture units and the existing guest house with two bedrooms and 30 fixture units. The OWTS has been reviewed by the City Environmental Health Administrator and found to meet the minimum requirements of the LCP and MMC (see Environmental Health Review Sheet included with Attachment 4 for plot plan and more details). The proposed OWTS has been approved for installation by the City Environmental Health Administrator having met all applicable requirements. Conditions of approval have been included in the resolution, which require continued operation, maintenance, and monitoring of onsite facilities.

LIP Findings

A. General Coastal Development Permit (LIP Chapter 13)

LIP Section 13.9 requires that the following four findings be made for all coastal development permits.

Finding 1. That the project as described in the application and accompanying materials, as modified by any conditions of approval, conforms with the certified City of Malibu Local Coastal Program.

The project is located in the RR-5 residential zoning district, an area designated for residential uses. A single-family residence and associated development are permitted uses. The project has been reviewed for conformance with the LCP by the Planning Department, City Biologist, City Environmental Health Administrator, City Public Works Department, City geotechnical staff, WD29, and the LACFD. As discussed herein, based on submitted reports, project plans, visual analysis and site investigations, the proposed project, does not conform to the LCP due the fact that the LIP places a maximum TDSF of 11,172-square feet on a parcel. Furthermore, the LIP places a maximum of 1,000 cubic yards of grading on a parcel. The proposed project is requesting to exceed the allowable TDSF by 5,241.5-square feet, as well as exceed the allowable grading by 160 cubic yards.

Finding 2. If the project is located between the first public road and the sea, the project conforms to the public access and recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Sections 30200 of the Public Resources Code).

The project is not located between the first public road and the sea. Therefore, this finding does not apply.

Finding 3. The project is the least environmentally damaging alternative.

This analysis assesses whether alternatives to the proposed project would significantly lessen adverse impacts to coastal resources. Based on MMC and LCP conformance review, the project will result in significant adverse impacts.

Alternative Project – A smaller residence could be proposed for the project that results in less grading and compliance with the maximum allowable TDSF. The proposed project does not comply with the allowable TDSF and grading quantities. However, it does comply with the total impermeable lot coverage, and setback requirements. Additionally, the proposed development is sited on an existing approved development pad and does not result in fuel modification encroachments into the ESHA buffer on the northern, eastern, or western side of the property. Siting the proposed development on the existing approved development pad minimizes grading. Limiting grading on the site reduces potential environmental impacts such as site disturbance, truck trips and noise to the area. Although proposed on the existing building pad the project is exceeding the allowed grading by 160 cubic yards. A smaller residence will contribute to lower cubic yard quantities within what is allowed by the LCP. No existing blue water views will be blocked from neighboring properties by the proposed development. The proposed development is visible from public viewing areas (PCH) however it is sited in the same location as the existing two-story single-family residence. It is anticipated that a smaller residence would be an environmentally superior alternative while accomplishing the project objectives requested by the property owner and avoid the request of two variances for TDSF and grading.

Proposed Project – The project consists of a new two-story, single-family residence and associated development and is a permitted use within the RR zoning classification of the subject property. As discussed in this report, the proposed project does not comply with maximum allowable TDSF and the proposed nonexempt grading exceeds the 1,000 cubic yard limit contained in the LIP. Given that an alternative exists that eliminates the need for the two requested variances, the project as proposed is not a superior project option to an alternate project that is consistent with the LIP.

Finding 4. If the project is located in or adjacent to an environmentally sensitive habitat area pursuant to Chapter 4 of the Malibu LIP [Environmentally Sensitive Habitat Area (ESHA)] Overlay), that the project conforms with the recommendations of the Environmental Review Board, or if it does not conform with the recommendations, findings explaining why it is not feasible to take the recommended action.

The subject property is adjacent to ESHA or ESHA buffer as shown on the LCP ESHA and Marine Resources Map. Pursuant to LIP Section 4.4.4(D),[4] the proposed project is

[4] The following types of development shall not be subject to the provisions of Section 4.4.2 of the Malibu LIP with regard to the supplemental application requirement of a detailed biological study of the site, and shall not be subject to review by the Environmental Review Board:
D. New structures and landscaping proposed within the permitted graded pad or permitted development area if there is no graded pad, authorized in a previously approved coastal development permit.

exempt from review by the ERB as the proposed development is sited on a pad that was previously approved prior to cityhood and coastal act and no impacts beyond the existing pad is expected to occur. Therefore, ERB review was not required, and this finding does not apply.

B. Variance to Exceed the Allowable Grading (LIP Section 13.26)

The LCP requires that the City make findings in the consideration and approval of a variance to exceed the allowable grading on site. Previous City approvals have resulted in 943 cubic yards of non-exempt grading. The project includes VAR No. 16-013 to allow for an additional 217 cubic yards of non-exempt grading which will result in 1,160 cubic yards, 160 cubic yards above the allowable 1,000 cubic yards. Based on the evidence contained within the record, Planning Department staff recommends the denial of VAR No. 16-013.

Finding 1. There are special circumstances or exceptional characteristics applicable to the subject property, including size, shape, topography, location, or surroundings such that strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under the identical zoning classification.

The project is proposing additional non-exempt grading on site exceeding the allowed 1,000 cubic yards. Given that the property is currently developed, denial of the variance would not result in depriving the property of privileges enjoyed by other property in the vicinity and under identical zoning classification (RR-5). The project could be redesigned to fit within the allowed 1,000 cubic yards.

Finding 2. The granting of such variance will not be detrimental to the public interest, safety, health or welfare, and will not be detrimental or injurious to the property or improvements in the same vicinity and zone(s) in which the property is located.

Granting the requested variance to allow the additional 160 cubic yards of grading will not be detrimental to the public interest, safety health or welfare, and will not be detrimental or injurious to the property or improvements in the same vicinity and zone in which the property is located. The grading plan has been reviewed and conditionally approved by City geotechnical staff.

Finding 3. The granting of the variance will not constitute a special privilege to the applicant or property owner.

Granting the variance will constitute a special privilege to the applicant as the variance would allow the project to exceed the allowable grading by 160 cubic yards above the 1,000 cubic yards allowed per the LIP Section 8.3. As discussed in this report, the property is currently developed, and project alternatives exist for development that would not result in additional nonexempt grading beyond the 1,000 cubic yard limit.

Finding 4. The granting of such variance will not be contrary to or in conflict with the general purposes and intent of this Chapter, nor to the goals, objectives and policies of the LCP.

The granting of the variance is in conflict with the objectives and policies of the LCP as the project would be allowed to exceed the allowable grading by 160 cubic yards above the 1,000 cubic yards allowed per the LIP Section 8.3.

Finding 5. For variances to environmentally sensitive habitat area buffer standards or other environmentally sensitive habitat area protection standards, that there is no other feasible alternative for siting the structure and that the development does not exceed the limits on allowable development area set forth in Section 4.7 of the Malibu LIP.

The requested variance is not for environmentally sensitive habitat area buffer standards therefore the finding does not apply.

Finding 6. For variances to stringline standards, that the project provides maximum feasible protection to public access as required by Chapter 12 of the Malibu LIP.

The requested variance is not for stringline standards therefore the finding does not apply.

Finding 7. The variance request is consistent with the purpose and intent of the zone(s) in which the site is located. A variance shall not be granted for a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.

The variance request is not consistent with the purpose and intent of the zone in which the site is located as it is it is requesting to exceed the allowable grading set forth in LIP Section 8.3.

Finding 8. The subject site is physically suitable for the proposed variance.

The subject site is physically suitable for the proposed variance as it is approximately 25 acres in size; however, LIP Section 8.3 places a maximum grading allowed per site at 1,000 cubic yards and there are project alternatives that would result in less grading.

Finding 9. The variance complies with all requirements of state and local law.

The variance does not comply with all requirements of the local law as it deviates from the requirements of the LCP, specifically LIP Section 8.3.

Finding 10. A variance shall not be granted that would allow reduction or elimination of public parking for access to the beach, public trails or parklands.

The requested variance is not for reduction or elimination of public parking therefore the finding does not apply.

C. Variance to Exceed the Allowable Total Development Square Footage (LIP Section 13.26)

The LCP requires that the City make findings in the consideration and approval of a variance to exceed the allowable TDSF on site. The subject application proposes to demolish the existing 3,385-square foot two-story, single-family residence and 552-square foot garage resulting in a remaining 7,053-square foot TDSF on site. The application is then proposing construction of a new 9,360.5-square foot two-story single-family residence including a subterranean garage resulting in a TDSF of 16,413.5 square feet for the property. The project includes VAR No. 16-014 to exceed the maximum allowed by 5,241.5 square feet beyond the allowable per LIP Section 3.6.K. Based on the evidence contained within the record, Planning Department staff recommends the denial of VAR No. 16-014.

Finding 1. There are special circumstances or exceptional characteristics applicable to the subject property, including size, shape, topography, location, or surroundings such that strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under the identical zoning classification.

The project is proposing an additional 5,241.5-square feet beyond the allowable TDSF per LIP Section 3.6.K. Denying the variance would not result in depriving the property of privileges enjoyed by other property in the vicinity and under identical zoning classification (RR-5). The project can be redesigned to fit within the maximum 11,172-square feet TDSF allowed and still be consistent with surrounding development.

Finding 2. The granting of such variance will not be detrimental to the public interest, safety, health or welfare, and will not be detrimental or injurious to the property or improvements in the same vicinity and zone(s) in which the property is located.

Granting the requested variance to allow the additional 5,241.5-square feet beyond the allowable TDSF will not be detrimental to the public interest, safety health or welfare, and will not be detrimental or injurious to the property or improvements in the same vicinity and zone in which the property is located. The project has been reviewed and conditionally approved by the City Biologist, City Environmental Health Administrator, City Public Works Department, City geotechnical staff, WD29, and the LACFD.

Finding 3. The granting of the variance will not constitute a special privilege to the applicant or property owner.

Granting the variance will constitute a special privilege to the applicant as the variance would allow the project to exceed the allowable TDSF by 5,241.5 square feet above the 11,172 square feet allowed per the LIP Section 3.6.K. Properties within a 500-foot radius of the subject property are developed with habitable structures that range in size from 1,232-square feet to 7,500-square feet. The proposed project includes 11,442-square feet of habitable area (excluding garages and covered porches).

Finding 4. The granting of such variance will not be contrary to or in conflict with the general purposes and intent of this Chapter, nor to the goals, objectives and policies of the LCP.

The granting of the variance is in conflict with the objectives and policies of the LCP as the project would be allowed to exceed the allowable TDSF by 5,241.5 square feet above the 11,172 square feet allowed per the LIP Section 3.6.K.

Finding 5. For variances to environmentally sensitive habitat area buffer standards or other environmentally sensitive habitat area protection standards, that there is no other feasible alternative for siting the structure and that the development does not exceed the limits on allowable development area set forth in Section 4.7 of the Malibu LIP.

The requested variance is not for environmentally sensitive habitat area buffer standards therefore the finding does not apply.

Finding 6. For variances to stringline standards, that the project provides maximum feasible protection to public access as required by Chapter 12 of the Malibu LIP.

The requested variance is not for stringline standards therefore the finding does not apply.

Finding 7. The variance request is consistent with the purpose and intent of the zone(s) in which the site is located. A variance shall not be granted for a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.

The variance request is not consistent with the purpose and intent of the zone in which the site is located as it is it is requesting to exceed the allowable TDSF set forth in LIP Section 3.6.K.

Finding 8. The subject site is physically suitable for the proposed variance.

The site is approximately 25 acres in size and is physical suitable for the proposed variance and may accommodate additional square footage due to the 25-acre lot area; however, the LIP places a maximum TDSF of 11,172-square feet set forth in LIP Section 3.6.K.

Finding 9. The variance complies with all requirements of state and local law.

The variance does not comply with all requirements of local law as it deviates from the requirements of the LCP, specifically LIP Section 3.6.K.

Finding 10. A variance shall not be granted that would allow reduction or elimination of public parking for access to the beach, public trails or parklands.

The requested variance is not for reduction or elimination of public parking therefore the finding does not apply.

D. Site Plan Review for Construction in Excess of 18 Feet in Height (LIP Section 13.27.5)

LIP Section 3.6(E) limits the height of structures to 18 feet unless findings for a SPR can be made to authorize a height up to 28 feet in height with flat roof. The applicant is requesting SPR No. 16-028 to allow for the single-family residence to have a maximum roof height of 28 feet. LIP Section 13.27.5(A) requires that the City make four findings in consideration and approval of a site plan review. Two additional findings are required pursuant to MMC Section 17.62.040(D) when a project exceeds 18 feet. Based on the foregoing evidence contained in the record, the required findings for SPR No. 16-028 are made as follows:

Finding 1. The project is consistent with policies and provisions of the Malibu LCP.

The proposed SPR is consistent with policies and provisions of the Malibu LCP and will allow for the construction of a pitched roof at a height up to 28 feet. However, as stated in Section A, the proposed project has been reviewed for all relevant policies and provisions of the LCP, and the proposed project is not consistent with all applicable development and design standards of the LCP, specifically LIP Sections 8.3 and 3.6.K.

Finding 2. The project does not adversely affect neighborhood character.

SPR No. 16-028 would allow for the construction of a new two-story, single-family residence sited on the same general location as the existing single-family residence, with a proposed pitched roof, not to exceed 28 feet in height. The project complies with the 2/3rds rule as the proposed second floor is 2,114.5 -square feet where up to 2,303 -square feet is allowed. Additionally, the height of the proposed roof height is lower than the

existing roof height of the single-family residence. Therefore, the portions of the structures in excess of 18 feet are not anticipated to adversely affect neighborhood character.

Story poles were installed in January 2021. Staff visited the project site on February 3, 2021, photo documented the story poles and evaluated the project for conformance with City codes and how the size, bulk and height relates to the surrounding area (Attachment 5 – Story Pole Photographs). The neighboring property immediately to the west of the subject property is developed with the Malibu Riding and Tennis Club, the other neighboring properties are developed with a mix located along PCH are developed with a mix of one- and two-story single-family residences with mature landscaping. The proposed project is expected to blend with the surrounding built environment. Furthermore, given the location of the proposed project on the previous building pad, the project is not expected to adversely affect neighborhood character.

Finding 3. The project provides maximum feasible protection to significant public views as required by Chapter 6 of the Malibu LIP.

There are no significant public views visible from or near the property which could be impacted by the applicant's project. The nearby mature tree canopy, size and shape of the subject property limit visibility of the proposed development from PCH. Additionally, the portions of the proposed structure over 18 feet in height will be located in the same location as the existing two-story single-family residence. Additionally, the proposed roof height will be lower than the roof of the existing single-family residence, and will not be visible from any scenic area, scenic road, or public viewing area. The subject parcel is surrounded by existing and proposed development and landscaping. Based on site visits to the property, evaluation of project plans, exhibits, and photographs, the project, as proposed and conditioned, is not expected to have impacts on scenic vistas and provides the maximum feasible protection to significant public views as required by LIP Chapter 6.

Finding *4. The proposed project complies with all applicable requirements of state and local law.*

The proposed SPR is consistent with all applicable requirements of state and local law and will allow for the construction of a pitched roof at a height up to 28 feet. However, the proposed project does not comply with all requirements of the local law as it deviates from the requirements of the LCP, specifically LIP Sections 8.3 and 3.6.K.

Finding 5. The project is consistent with the City's general plan and local coastal program.

The project is not consistent with the City's general plan and local coastal program because as proposed, it deviates from the requirements of the LCP, specifically LIP Sections 8.3 and 3.6.K.

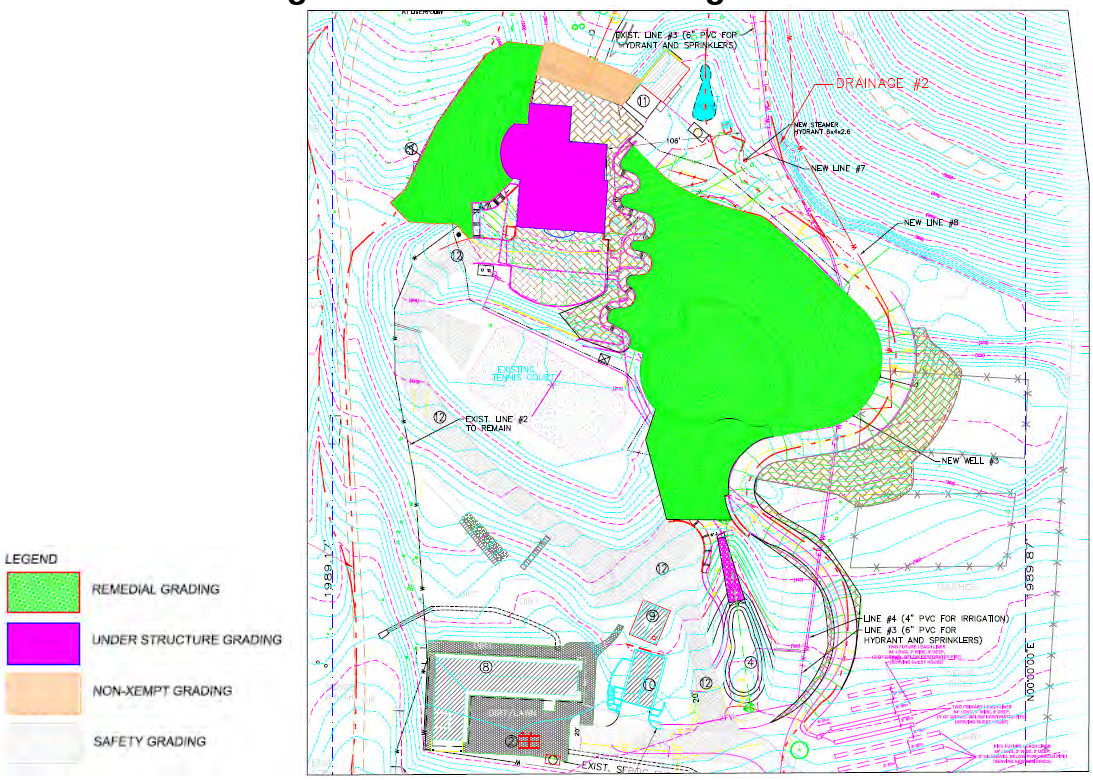
Finding 6. The portion of the project that is in excess of 18 feet in height does not obstruct visually impressive scenes of the Pacific Ocean, off-shore islands, Santa Monica Mountains, canyons, valleys, or ravines from the main viewing area of any affected principal residence as defined in MMC Section 17.40.040(A)(17).

Based on the visual impact analysis (aerial photographs, story poles, and site visits), staff has determined that the proposed construction above 18-feet in height is not expected to obstruct visually impressive scenes of the Pacific Ocean, off-shore islands, Santa Monica Mountains, canyons, valleys, or ravines from the main viewing area of any affected principal residence as defined in MMC Section 17.40.040(A)(17). No public comments regarding the story poles or height of the proposed project have been received.

E. Site Plan Review for Remedial Grading (LIP Section 13.27.5)

The LCP requires that the City make findings in the consideration and approval of an SPR for remedial grading. The project includes SPR No. 20-078 for remedial grading due to the existing slope conditions not having adequate safety factors that would meet current requirements of the City's geotechnical guidelines, corrective grading is required to create a suitably safe slope condition. The site plan review for remedial grading will allow the applicant to reconstruct the slope to meet the current city criteria for safe engineered slope conditions as required by city geotechnical staff (Figure 3 – Remedial Grading Areas). Based on the evidence contained within the record, Planning Department staff recommends the approval of SPR No. 20-078.

Figure 3 – Remedial Grading Areas



Source: Plan Submittal September 16, 2019

Finding 1. The project is consistent with policies and provisions of the Malibu LCP.

The project has been reviewed for all relevant policies and provisions of the Malibu LCP. Additionally, the grading plan incorporates all compliance elements for Stormwater required by the City Public Works Department. Based on submitted reports, visual impact analysis, and detailed site investigations, the project however is not consistent with all policies and provisions of the Malibu LCP, specifically LIP Sections 8.3 and 3.6.K. Furthermore, the geotechnical reports that recommend remedial grading were reviewed by the City's geotechnical staff and it was determined that the proposed remedial grading is required and complies with the City's geotechnical guidelines and LIP Section 8. The areas proposed for remedial grading are required to stabilize the slope adjacent to the existing and proposed single-family residence and for ingress and egress and fire department requirements.

Finding 2. The project does not adversely affect neighborhood character.

The project remains compatible with other development in the adjacent area in that the proposed grading does not result in substantial landform alteration that will be visually apparent. The remedial grading proposed will stabilize the slope adjacent to the existing and proposed single-family residence and driveway. It is not expected that the proposed amount of remedial grading will adversely affect neighborhood character as it will not change the visual character of the subject property or impact the siting of the proposed development.

Finding 3. The project provides maximum feasible protection to significant public views as required by Chapter 6 of the Malibu LIP.

This project consists of the construction of a new single-family residence and associated development. As part of the site preparation there are two areas on the property that contain existing slopes not having adequate safety factors that would meet current requirements of the City's geotechnical guidelines, corrective grading is required to create a suitably safe slope condition. The proposed remedial grading will stabilize the slope adjacent to the existing and proposed single-family residence and driveway. The areas in which the remedial grading will take place will not be used to expand the footprint of the single-family residence and will not be visible from neighboring proprieties or scenic areas, therefore, the remedial grading will not impact public views.

Finding 4. The proposed project complies with all applicable requirements of state and local law.

The proposed project has received LCP conformance review from the City Biologist, City geotechnical staff, the City Public Works Department, and the LACFD. The project must also be approved by the City of Malibu Building Safety Division, prior to issuance of City building permits. The proposed project complies with all applicable requirements of state

and local law. However, the project is not consistent with all policies and provisions of the Malibu LCP, specifically LIP Sections 8.3 and 3.6.K.

F. Environmentally Sensitive Habitat Area Overlay (LIP Chapter 4)

As discussed previously, the site contains ESHA or ESHA buffer; however, no new impacts to ESHA are anticipated as the proposed development is sited entirely within the previously approved development pad and no fuel modification will extend into ESHA or ESHA buffer. Therefore, the findings in LIP Chapter 4 do not apply.

G. Native Tree Protection (LIP Chapter 5)

No protected native trees exist within the project area. Therefore, the findings contained in LIP Chapter 5 do not apply.

H. Scenic, Visual and Hillside Resource Protection Chapter (LIP Chapter 6)

The Scenic, Visual, and Hillside Resource Protection Chapter governs those CDP applications concerning any parcel of land that is located along, within, provides views to or is visible from any scenic area, scenic road or public viewing area. The project site is located along PCH which is a scenic road. LIP Chapter 6 requires that the following five findings be made:

Finding 1. The project, as proposed, will have no significant adverse scenic or visual impacts due to project design, location on the site or other reasons.

There are no significant public views visible from or near the property which could be impacted by the applicant's project. The nearby mature tree canopy, size and shape of the subject property limit visibility of the proposed development from PCH. Additionally, the portions of the proposed structure over 18 feet in height will be located in the same location as the existing two-story single-family residence. Additionally, the proposed roof height will be lower than the roof of the existing single-family residence, and will not create additional view impacts, visible from any scenic area, scenic road, or public viewing area.

Finding 2. The project, as conditioned, will not have significant adverse scenic or visual impacts due to required project modifications, landscaping or other conditions.

As stated in Finding 1 above, the project, as conditioned will not have significant adverse scenic or visual impacts due to project modifications.

Finding 3. The project, as proposed or as conditioned, is the least environmentally damaging alternative.

As stated in Section A, Finding 3, the project, as proposed, is not considered to be the least environmentally damaging alternative as it is exceeding both the allowable TDSF and grading quantities.

Finding 4. There are no feasible alternatives to development that would avoid or substantially lessen any significant adverse impacts on scenic and visual resources.

As stated in Section A, a smaller residence could be proposed for the project. The proposed project does not comply with the allowable TDSF and grading quantities. Although proposed on the existing building pad, the project is exceeding the allowed grading by 160 cubic yards. A smaller residence will contribute to lower cubic yard quantities within what is allowed by the LCP. It is anticipated that a smaller residence would be an environmentally superior alternative while accomplishing the project objectives requested by the property owner.

Finding 5. Development in a specific location on the site may have adverse scenic and visual impacts but will eliminate, minimize or otherwise contribute to conformance to sensitive resource protection policies contained in the certified LCP.

No new impacts to scenic and visual resources are anticipated as the proposed development is sited entirely within the previously approved development pad.

I. Transfer of Development Credit (LIP Chapter 7)

The proposed project does not include a land division or multi-family development. Therefore, the findings of LIP Chapter 7 are not applicable.

J. Hazards (LIP Chapter 9)

Pursuant to LIP Section 9.3, written findings of fact, analysis and conclusions addressing geologic, flood and fire hazards, structural integrity or other potential hazards listed in LIP Section 9.2(A) must be included in support of all approvals, denials or conditional approvals of development located on a site or in an area where it is determined that the proposed project has the potential to create adverse impacts upon site stability or structural integrity.

The proposed development has been analyzed for the hazards listed in LIP Chapter 9 and has been reviewed and approved for conformance with all relevant policies and regulations of the LCP and MMC by the Planning Department, City Biologist, City Environmental Health Administrator, City Public Works Department, City geotechnical staff, WD29, and LACFD. The required findings are made as follows:

Finding 1. The project, as proposed will neither be subject to nor increase instability of the site or structural integrity from geologic, flood, or fire hazards due to project design, location on the site or other reasons.

Analysis for potential hazards included review of the submitted geotechnical reports prepared by Gold Coast Geoservices, Inc., dated April 1 and April 19, 2016, and building plans prepared by Coffman Design Collaborative dated May 20, 2016. The plans and analysis evaluate site-specific conditions and recommendations are provided to address any pertinent issues. Potential hazards analyzed include geologic, seismic and fault rupture, liquefaction, landslide and fire hazards. It has been determined that the project is not located in a hazard zone, except that the project site is located within an extreme fire hazard area. Based on review of the project plans by City Environmental Health Administrator, City geotechnical staff, City Public Works Department and LACFD, these specialists and agency determined that adverse impacts to the project site related to the proposed development are not expected. The proposed project, including the new OWTS, will neither be subject to nor increase the instability from geologic or fire hazards. In summary, the proposed development is suitable for the intended use provided that the certified engineering geologist and/or geotechnical engineer's recommendations and governing agency's building codes are followed.

The project, as conditioned, will incorporate all recommendations contained in the above cited geotechnical report and conditions required by the City Public Works Department, City geotechnical staff, and the LACFD, including foundations, OWTS, and drainage. As such, the proposed project will not increase instability of the site or structural integrity from geologic or any other hazards.

<u>Fire Hazard</u>

The entire city limits of Malibu are within an identified fire hazard zone. The property is currently subject to wildfire, however, development of a residence on the subject property will not increase the site's susceptibility to wildfire. The scope of work proposed as part of this application is not expected to have an impact on wildfire hazards. The proposed development may actually decrease the site's susceptibility to wildfire through the use of appropriate building materials during construction. Nonetheless, a condition of approval has been included which requires that the property owner indemnify the City against wildfire hazards.

As such, the proposed project, as designed, constructed, and conditioned, will not be subject to nor increase the instability of the site or structural integrity involving wildfire hazards.

Finding 2.The project, as conditioned, will not have significant adverse impacts on site stability or structural integrity from geologic, flood or fire hazards due to required project modifications, landscaping or other conditions.

As discussed in Finding 1, the proposed project, as designed, conditioned and approved by the applicable departments and agencies, will not have any significant adverse impacts on site stability or structural integrity from geologic or flood hazards due to project modifications, landscaping or other conditions.

Finding 3. The project, as proposed or as conditioned, is the least environmentally damaging alternative.

As previously stated in Section A, the project, as proposed, is not considered to be the least environmentally damaging alternative as it is exceeding both the allowable TDSF and grading quantities.

Finding 4.There are no alternatives to development that would avoid or substantially lessen impacts on site stability or structural integrity.

As stated in Finding 1, the project as designed, constructed, and conditioned, and approved by the City Public Works Department and City geotechnical staff, does not have any significant adverse impacts on site stability or structural integrity of the proposed project.

Finding 5. Development in a specific location on the site may have adverse impacts but will eliminate, minimize or otherwise contribute to conformance to sensitive resource protection policies contained in the certified Malibu LCP.

Although, no adverse impacts to sensitive resources are anticipated due to the project location. As previously stated in Section A, the project, as proposed, is not considered to be the least environmentally damaging alternative as it is exceeding both the allowable TDSF and grading quantities.

K. Shoreline and Bluff Development (LIP Chapter 10)

LIP Chapter 10 applies to land that is located on or along the shoreline, a coastal bluff or bluff-top fronting the shoreline. The proposed project is not located near the shore. Therefore, LIP Chapter 10 findings do not apply.

L. Public Access (LIP Chapter 12)

LIP Section 12.4 requires public access for lateral, bluff-top, and vertical access near the ocean, trails, and recreational access for the following cases:

A. New development on any parcel or location specifically identified in the LUP or in the LCP zoning districts as appropriate for or containing a historically used or suitable public access trail or pathway.
B. New development between the nearest public roadway and the sea.
C. New development on any site where there is substantial evidence of a public right of access to or along the sea or public tidelands, a bluff-top trail or an inland trail acquired through use or a public right of access through legislative authorization.
D. New development on any site where a trail, bluff-top access or other recreational access is necessary to mitigate impacts of the development on public access where there is no feasible, less environmentally damaging, project alternative that would avoid impacts to public access.

As described herein, the subject property and the proposed project do not meet any of these criteria in that no trails are identified on the LCP Park Lands Map on or adjacent to the property, and the property is not located between the first public road and the sea, or on a bluff or near a recreational area. The requirement for public access of LIP Section 12.4 does not apply and further findings are not required.

M. Land Division (LIP Chapter 15)

This project does not involve a division of land as defined in LIP Section 15.1; therefore, LIP Chapter 15 does not apply.

N. Demolition Permit (MMC Chapter 17.70)

MMC Section 17.70.060 requires that a demolition permit be issued for projects that result in the demolition of any building or structure, or for a major remodel, except for a demolition initiated by the City and ordered or authorized under the provisions of the building code. The proposed project includes the demolition of the existing single-family residence and associated development. The findings for DP No. 19-047 are made as follows.

Finding 1. The demolition permit is conditioned to assure that it will be conducted in a manner that will not create significant adverse environmental impacts.

Conditions of approval, including the recycling of demolished materials, have been included to ensure that the proposed project will not create significant adverse environmental impacts.

Finding 2. A development plan has been approved or the requirement waived by the city.

A CDP application is being processed concurrently with DP No. 19-047. Therefore, approval of the demolition permits is subject to the approval of CDP No. 16-025.

<u>ENVIRONMENTAL REVIEW:</u> Pursuant to CEQA Guidelines Section 15270, CEQA does not apply to projects which a public agency rejects or disapproves.

CORRESPONDENCE: To date no public correspondence has been received for the subject application.

PUBLIC NOTICE: On January 21, 2021, staff published a Notice of Public Hearing in a newspaper of general circulation within the City of Malibu and on January 26, 2021 mailed the notice to all property owners and occupants within a 500-foot radius of the subject property (Attachment 7).

SUMMARY: The required findings cannot be made that the project complies with the LCP. Based on the analysis contained in this report and in Planning Commission Resolution No. 21-15, staff recommends denial of this project.

ATTACHMENTS:

1. Planning Commission Resolution No. 21-15
2. Project Plans
3. Department Review Sheets
4. Surrounding Residences
5. Story Poles Photographs
6. 500-Foot Radius Map
7. Public Hearing Notice

CITY OF MALIBU PLANNING COMMISSION
RESOLUTION NO. 21-15

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MALIBU, DENYING COASTAL DEVELOPMENT PERMIT NO. 16-025 TO CONSTRUCT A NEW 9,360.5 SQUARE FOOT, TWO STORY SINGLE-FAMILY RESIDENCE, INCLUDING A 1,871.8 SQUARE FOOT SUBTERRENEAN GARAGE, SWIMMING POND, LANDSCAPING, HARDSCAPE, RETAINIGN WALLS, ONSITE WASTEWATER TREATMENT SYSTEM, EXTERIOR FAÇADE REMODEL OF EXISTING GUEST HOUSE AND ASSOCIATED DEVELOPMENT; INCLUDING VARIANCE NO. 16-013 TO EXCEED THE ALLOWABLE GRADING AND VARIANCE NO. 16-014 TO EXCEED THE ALLOWABLE TOTAL DEVELOPMENT SQUARE FOOTAGE; INCLUDING SITE PLAN REVIEW NO. 16-028 FOR CONSTRUCTION UP TO 28-FEET FOR A PITCHED ROOF AD SITE PLAN REVIEW NO. 20-078 FOR REMEDIAL GRADING AND DEMOLITION PERMIT NO. 19-047 FOR THE DEMOLITION OF THE EXISTING SINGLE-FAMILY RESIDENCE, GARAGE AND ASSOCIATED DEVELOPMENT, LOCATED IN THE RURAL RESIDENTIAL-FIVE ACRE ZONING DISTRICT AT 33603 PACIFIC COAST HIGHWAY (PALMS OF MALIBU RANCH, LLC)

The Planning Commission of the City of Malibu does hereby find, order and resolve as follows:

SECTION 1. Recitals.

A. On May 20, 2016, an application for Coastal Development Permit (CDP) No. 16-025 was submitted to the Planning Department by Laura Coffman. The application was routed to the City Biologist, City Environmental Health Administrator, City geotechnical staff, City Public Works Department, Los Angeles County Fire Department (LACFD) and Los Angeles County Waterworks District No. 29 (WD29) for review.

B. On October 1, 2020, staff conducted a site visit to document site conditions.

C. On August 10, 2020, the application was deemed complete by the Planning Department.

D. On December 15, 2020, a Notice of CDP Application was posted on the subject property.

E. On February 2021, staff conducted a site visit to determine visual impacts and document the story poles installed in January 2021 to demonstrate the location, height and bulk of the proposed project. The story poles were certified by a licensed surveryor.

F. On January 21, 2021, a Notice of Planning Commission Public Hearing was published in a newspaper of general circulation within the City of Malibu and on January 26, 2021, was mailed to all property owners and occupants within a 500-foot radius of the subject property.

G. On February 16, 2021, the Planning Commission held a duly noticed public hearing on the subject application, reviewed and considered the staff report, reviewed and considered written reports, public testimony, and other information in the record.

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SECTION 2. Environmental Review.

Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15270, CEQA does not apply to projects which a public agency rejects or disapproves.

SECTION 3. Findings for Denial.

Based on substantial evidence contained within the record and pursuant to Local Coastal Program (LCP) Local Implementation Plan (LIP) Sections 13.7(B) and 13.9, the Planning Commission adopts the analysis in the agenda report, incorporated herein, and the findings of fact below, and denies CDP No. 16-025 for construction of a new 9,360.5 square foot, two-story single-family residence, including a 1,871.8 square foot subterranean garage, swimming pond, landscaping, hardscape, retaining walls, OWTS, exterior façade remodel of existing guest house and associated development; including VAR No. 16-013 to exceed the allowable grading, VAR No. 16-014 to exceed the allowable Total Development Square Footage (TDSF), SPR No. 16-028 for construction up to 28 feet for a pitched floor, SPR No. 20-078 for remedial grading and DP No. 19-047 for the demolition of the existing single-family residence, garage and associated development.

The proposed project has been determined to not be consistent with all applicable requirements of the LCP, specifically LIP Sections 8.3 and 3.6.K in that the project is exceeding the allowable grading and TDSF on site. The required findings for denial of the requested variances are made herein.

A. General Coastal Development Permit (LIP Chapter 13)

1. The project is located in the RR-5 residential zoning district, an area designated for residential uses. A single-family residence and associated development are permitted uses. The project has been reviewed for conformance with the LCP by the Planning Department, City Biologist, City Environmental Health Administrator, City Public Works Department, City geotechnical staff, WD29, and the LACFD. As discussed herein, based on submitted reports, project plans, visual analysis and site investigations, the proposed project, does not, conform to the LCP due the fact that the LIP places a maximum TDSF of 11,172 square feet on a parcel. Furthermore, the LIP places a maximum of 1,500 cubic yards of grading on a parcel. The proposed project is requesting to exceed the allowable TDSF by 5,241.5 square feet, as well as exceed the allowable grading by 160 cubic yards.

2. A smaller residence could be proposed for the project that results in less grading and compliance with the maximum allowable TDSF. The proposed project does not comply with the allowable TDSF and grading quantities. However, it does comply with the total impermeable lot coverage, and setback requirements. Additionally, the proposed development is sited on an existing approved development pad and does not result in fuel modification encroachments into the ESHA buffer on the northern, eastern, or western side of the property. Siting the proposed development on the existing approved development pad minimizes grading. Limiting grading on the site reduces potential environmental impacts such as site disturbance, truck trips and noise to the area. Although proposed on the existing building pad the project is exceeding the allowed grading by 160 cubic yards. A smaller residence will contribute to lower cubic yard quantities within what is allowed by the LCP. No existing blue water views will be blocked from neighboring properties by the proposed development. The proposed development is visible from public viewing areas (PCH) however it is sited in the same location as the existing two-story single-family residence. It is anticipated that a smaller residence would be an environmentally superior alternative while accomplishing the project

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objectives requested by the property owner and avoid the request of two variances for TDSF and grading.

B. Variance to Exceed the Allowable Grading (LIP Section 13.26)

1. The project is proposing additional non-exempt grading on site exceeding the allowed 1,000 cubic yards. Denying the variance would not result in depriving the property of privileges enjoyed by other property in the vicinity and under identical zoning classification (RR-5). The project could be redesigned to fit within the allowed 1,000 cubic yards.

2. Granting the requested variance to allow the additional 160 cubic yards of grading will not be detrimental to the public interest, safety health or welfare, and will not be detrimental or injurious to the property or improvements in the same vicinity and zone in which the property is located. The grading plan has been reviewed and conditionally approved by City geotechnical staff.

3. Granting the variance will constitute a special privilege to the applicant as the variance would allow the project to exceed the allowable grading by 160 cubic yards above the 1,000 cubic yards allowed per the LIP Section 8.3. As discussed in this report, the property is currently developed, and project alternatives exist for development that would not result in additional nonexempt grading beyond the 1,000 cubic yard limit.

4. The granting of the variance is in conflict with the objectives and policies of the LCP as the project would be allowed to exceed the allowable grading by 160 cubic yards above the 1,000 cubic yards allowed per the LIP Section 8.3.

5. The variance request is not consistent with the purpose and intent of the zone in which the site is located as it is not is requesting to exceed the allowable grading set forth in LIP Section 8.3.

6. The subject site is physically suitable for the proposed variance as it is approximately 25 acres in size; however LIP Section 8.3 places a maximum grading allowed per site at 1,000 cubic yards. and there are project alternatives that would result in less grading.

7. The variance does not comply with all requirements of the local law as it deviates from the requirements of the LCP, specifically LIP Section 8.3.

C. Variance to Exceed the Allowable Total Development Square Footage (LIP Section 13.26)

1. The project is proposing an additional 5,241.5-square feet beyond the allowable TDSF per LIP Section 3.6.K. Denying the variance would not result in depriving the property of privileges enjoyed by other property in the vicinity and under identical zoning classification (RR-5). The project can be redesigned to fit within the maximum 11,172 square feet TDSF allowed and still be consistent with surrounding development.

2. Granting the requested variance to allow the additional 5,241.5-square feet beyond the allowable TDSF will not be detrimental to the public interest, safety health or welfare, and will not be detrimental or injurious to the property or improvements in the same vicinity and zone in which the property is located. The project has been reviewed and conditionally approved by the City

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Biologist, City Environmental Health Administrator, City Public Works Department, City geotechnical staff, WD29, and the LACFD.

3. Granting the variance will constitute a special privilege to the applicant as the variance would allow the project to exceed the allowable TDSF by 5,241.5-square feet above the 11,172 square feet allowed per the LIP Section 3.6.K. Properties within a 500-foot radius of the subject property are developed with habitable structures that range in size from 1,232-square feet to 7,500-square feet. The proposed project includes 11,442-square feet of habitable area (excluding garages and covered porches).

4. The granting of the variance is in conflict with the objectives and policies of the LCP as the project would be allowed to exceed the allowable TDSF by 5,241.5-square feet above the 11,172 square feet allowed per the LIP Section 3.6.K.

5. The variance request is not consistent with the purpose and intent of the zone in which the site is located as it is it is requesting to exceed the allowable TDSF set forth in LIP Section 3.6.K.

6. The site is approximately 25 acres in size and is physical suitable for the proposed variance and may accommodate additional square footage due to the 25 acre lot area; however, the LIP places a maximum TDSF of 11,172 square feet set forth in LIP Section 3.6.K.

7. The variance does not comply with all requirements of the local law as it deviates from the requirements of the LCP, specifically LIP Section 3.6.K.

D. Scenic, Visual and Hillside Resource Protection Chapter (LIP Chapter 6)

1. The Planning Commission cannot make all of the required findinds for LIP Chapter 6 because as previously stated in Section A, the proposed project, as designed is not the least environmentally damaging alternative because a smaller residence could be proposed for the project which would reduce the size of the proposed structure and reduce cubic yard quantities.

E. Hazards (LIP Chapter 9)

1. The Planning Commission cannot make all of the required findinds for LIP Chapter 9 because as previously stated in Section A, the proposed project, as designed is not the least environmentally damaging alternative because a smaller residence could be proposed for the project which would reduce the size of the proposed structure and reduce cubic yard quantities.

F. Demolition Permit Fidings (MMC Chapter 17.70)

1. This CDP application is being processed concurrently with DP No. 19-047, approval of the demolition permit is subject to the approval of CDP No. 16-025.

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SECTION 4. Planning Commission Action.

Based on the foregoing findings and evidence contained within the record, the Planning Commission hereby denies CDP No. 16-025, VAR No. 16-013, VAR No. 16-014, SPR No. 16-028, SPR No. 20-078 and DP No. 19-047.

SECTION 5. The Planning Commission shall certify the adoption of this Resolution.

PASSED, APPROVED AND ADOPTED this 16th day of Feburary 2021.

_____
JEFFREY JENNINGS, Planning Commission Chair

ATTEST:

_____
KATHLEEN STECKO, Recording Secretary

LOCAL APPEAL - Pursuant to Local Coastal Program Local Implementation Plan (LIP) Section 13.20.1 (Local Appeals) a decision made by the Planning Commission may be appealed to the City Council by an aggrieved person by written statement setting forth the grounds for appeal. An appeal shall be filed with the City Clerk within 10 days and shall be accompanied by an appeal form and filing fee, as specified by the City Council. Appeals shall be emailed to psalazar@malibucity.org and the filing fee shall be mailed to Malibu Planning Department, attention: Patricia Salazar, 23825 Stuart Ranch Road, Malibu, CA 90265. Appeal forms may be found online at www.malibucity.org/planningforms. If you are unable to submit your appeal online, please contact Patricia Salazar by calling (310) 456-2489, extension 245, at least two business days before your appeal deadline to arrange alternative delivery of the appeal.

I CERTIFY THAT THE FOREGOING RESOLUTION NO. 21-15 was passed and adopted by the Planning Commission of the City of Malibu at the regular meeting held on the 16th day of February 2021 by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

_____
KATHLEEN STECKO, Recording Secretary

DRAFT

NEW MAIN HOUSE
PALMS OF MALIBU

33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

SHEET INDEX

COVER GENERAL PROJECT INFORMATION

CIVIL

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SA-1 SLOPE ANALYSIS
FD-1 FIRE DEPARTMENT / PROTECTION LAYOUT
CG-1 COLORED PROPOSED ENLARGED GRADING PLAN
C-1 ACCESS / INDEX MAP / 9.5.19
C-2 SITE DEMOLITION PLAN & ENLARGED EASTSIDE ACCESS RAMP
C-3 NEW ACCESS ROAD PLAN/FIRE DEPT NOTES/ROAD SECTION
C-4 RESERVOIR / DRAINAGE AND MAIN HOUSE GRADING PLAN
C-5 ROAD PROFILES
C-6 ENLARGED EROSION CONTROL/TERRACING PLAN
C-7 OVERALL SITE DRAINAGE PLAN
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EC-2 STORM WATER POLLUTION PREVENTION/EROSION CONTROL PLAN

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A1.3 PLANNING / BUILDING HEIGHT: LONGITUDINAL PART. SITE SECTION W/ WEST BUILDING ELEVATION; LONGITUDINAL PART. SITE SECTION W/ EAST BUILDING ELEVATION
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L3.1 AGRICULTURAL TERRACES / IRRIGATION PLAN
L3.2 IRRIGATION LEGEND
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L4.2 PLANTING NOTES
L6.1 PLANTING DETAILS

APPROVAL LETTERS

COUNTY OF LOS ANGELES
FIRE DEPARTMENT
1320 NORTH EASTERN AVENUE
LOS ANGELES, CALIFORNIA 90063-3294
(323) 881-2401
www.fire.lacounty.gov

"Proud Protectors of Life, Property, and the Environment"

BOARD OF SUPERVISORS
HILDA L. SOLIS
FIRST DISTRICT
MARK RIDLEY-THOMAS
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JANICE HAHN
FOURTH DISTRICT
KATHRYN BARGER
FIFTH DISTRICT

DARYL L. OSBY
FIRE CHIEF
FORESTER & FIRE WARDEN

April 15, 2019

Lauren Coffman
21781 Ventura Blvd. Ste. 527
Woodland Hills, CA 91364

Dear Ms. Coffman:

This is in response to your appeal letter dated January 22, 2019, in which you are requesting Fire Department acceptance of an alternate method of protection for the proposed residence located on 33603 Pacific Coast Highway, Malibu, demonstrating compliance with the minimum fire flow requirements as specified in the 2017 County of Los Angeles Fire Code Appendix B, Table B105.1. You have indicated that the basis for your request is the cost of the necessary improvements to Waterworks District #29's conveyance system in order to provide the required fire flow to the site.

Fire Code Chapter 5 Section 507.1, specifies that an approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which buildings are constructed. Also, Fire Code Chapter 5, 507.4, states that the fire code official shall be provided with approved documentation of the water supply test prior to final approval of the water supply system. In accordance with Table B105.1 in the Fire Code, an 11,233 square foot residence, including the subterranean garage, has a required fire flow of 2,750 gallons per minute at 20 psi, for 1 hour duration. A reduction of the required fire flow of up to 50 percent may be allowed when the building is provided with an approved automatic fire sprinkler system down to a minimum of 1,375 gallons per minute.

Additionally, Fire Code Chapter 5, Section 507.2, states "facilities, buildings, or portions of buildings that are hereafter constructed, or moved into, or within the jurisdiction that are located within a water district's, or water utility's service area, and that receive a Will-Serve letter from the applicable water district, or water utility shall obtain their water supply from that water district's, or water utility's system."

The subject property has been identified as being within the service area of Los Angeles County Waterworks District No. 29, (District) and they have indicated the ability to provide water service to the parcel. The District has confirmed that it is possible to construct the required facilities that would be capable of providing the required fire flow to the site address

SERVING THE UNINCORPORATED AREAS OF LOS ANGELES COUNTY AND THE CITIES OF:

AGOURA HILLS	CALABASAS	EL MONTE	INDUSTRY	PARAMOUNT	SIGNAL HILL
ARTESIA	CLAREMONT	GARDENA	LAKEWOOD	PICO RIVERA	SOUTH EL MONTE
AZUSA	COMMERCE	HAWAIIAN GARDENS	LANCASTER	POMONA	SOUTHGATE
BALDWIN PARK	CUDAHY	HAWTHORNE	LA CANADA-FLINTRIDGE	RANCHO PALOS VERDES	TEMPLE CITY
BELL	DIAMOND BAR	HERMOSA BEACH	LA MIRADA	ROLLING HILLS	WALNUT
BELL GARDENS	DUARTE	HIDDEN HILLS	LA PUENTE	ROLLING HILLS ESTATES	WEST HOLLYWOOD
BELLFLOWER	EL SEGUNDO	INDIAN WELLS	LAKEWOOD	ROSEMEAD	WEST LAKE VILLAGE
BRADBURY	GARVEY	INGLEWOOD	LANCASTER	SAN DIMAS	WHITTIER
				SANTA CLARITA	

Lauren Coffman
April 15, 2019
Page 2

on Pacific Coast Highway, and that upon satisfactory agreement to construct the necessary facilities they will issue a Will-Serve letter.

Your proposal is to install a private on-site system in accordance with Section 507.2 with sufficient water storage and pressure to meet the required fire flow of 1,375 gallons per minute at 20 psi, for 1 hour duration. The Fire Department finds that the proposed design is satisfactory, and complies with the intent of the code, and is at least equivalent to that which is prescribed in the code.

Therefore, the Fire Department approves your request for an alternative method of protection to provide an on-site water system capable of delivering the required fire flow and fire hydrant requirements as specified in the 2017 County of Los Angeles Fire Code. This approval is subject to the following conditions:

- Verification of the required fire flow and sprinkler demand hydraulic calculations through the plan review process by the Sprinkler Plan Check Unit.
- Approved documentation of the water supply test of the on-site water system prior to final approval of the system.

For your final Fire Department approval, you must submit complete architectural, fire sprinkler, and water tank plans to the Calabasas Fire Prevention office, and comply with all conditions of approval that result from the plan review.

If you have any further questions, please feel free to contact Mr. James Bailey, Engineering Section Chief, at (323) 890-4132.

Sincerely,

ASSISTANT FIRE CHIEF NICHOLAS DUVALLY
FIRE MARSHAL
FIRE PREVENTION DIVISION

ND:em

CODE COMPLIANCE SCHEDULES

SCHEDULE OF TOTAL DEVELOPMENT SQUARE FOOTAGE / 11,172 ALLOWABLE

BUILDING	SQUARE FEET	
EXISTING		
10,990 SQ. FT. EXISTING		
*BUILDINGS TO BE DEMOLISHED THIS PERMIT		
HORSEBARN	3,648	
HAYBARN	452	
STUDIO BUILDING	1,146	(1,298 SUBTERRANEAN = 1,000 CREDIT + 50% OF 298 = 149 + 998 2ND FL)
GUEST HOUSE	1,807	
GARAGE	*(552)	
MAIN HOUSE	*(3,385)	
TOTAL BUILDINGS TO BE REMAINING	**7,053**	
PROPOSED NEW BUILDING		
NEW PROPOSED MAIN HOUSE	9,360.5	
PROPOSED TDSF	16,413.5	
ALLOWABLE TDSF	11,172	
PROPOSED BEYOND ALLOWABLE TDSF	**5,241.5**	

SCHEDULE OF IMPERMEABLE COVERAGE

EXISTING		
HORSEBARN	3,872 SQ. FT. (INCLUDES PATIO)	
HAY BARN	452	
STUDIO BUILDING	1,298 (INCLUDES PATIO)	
TENNIS COURT	7,182	
GUEST HOUSE	903.5	
MAIN HOUSE	1,692.5	
HOUSE PATIO	1,410	
ASPHALTIC CONCRETE ROAD	5,818	
POOL DECK	1,817.4	
GARAGE	552	
EXISTING SUB TOTAL		**24,997.4 SQ. FT.**
PROPOSED TO BE DEMOLISHED/REMOVED		
MAIN HOUSE	1,692.5	
HOUSE PATIO	1,410	
ASPHALTIC CONCRETE ROAD	5,818	
POOL DECK	1,817.4	
GARAGE	552	
SUB TOTAL		**(11,289.9 SQ. FT.)**
PROPOSED TO BE ADDED		
NEW MAIN HOUSE	6,243.9	
PARTIAL LAKE DECK ON LAND	360	
SUB TOTAL		**6,603.9 SQ. FT.**
PROPOSED TOTAL IMPERMEABLE COVERAGE		**20,311.4 SQ. FT.**
MAXIMUM ALLOWABLE		25,000 SQ FT.

SCHEDULE OF ALLOWABLE NON-EXEMPT GRADING QUANTITIES
1,000 CUBIC YARDS ALLOW. / SEE C-1 FOR FULL SCHEDULE

EXISTING		
APR NO.04-007	407 CUBIC YARDS	15' WIDE ACCESS ROAD (35CY); HORSEBARN (289) CY;) VIOLATION REMEDIATION (87 CY)
APR NO. 10-038	384 CUBIC YARDS	53,550 GALLON WATER TANK
APR NO. 12-049	152 CUBIC YARDS	STUDIO BUILDING
TOTAL	**943 CUBIC YARDS**	
PROPOSED		
HOUSE PATIO	217 CUBIC YARDS	
TOTAL		1,160 CUBIC YARDS
BEYOND ALLOWABLE		**160 CUBIC YARDS**

CODES & STANDARDS

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

TITLE 24
2016 CALIFORNIA RESIDENTIAL CODE (CRC)

2016 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA ENERGY CODE (CEnC)
2016 CALIFORNIA FIRE CODE

EXEMPTIONS

EXEMPTIONS
COASTAL DEVELOPMENT PERMIT EXEMPTION NO. 10-052
CATEGORICAL EXEMPTION NO. 10-099

APPROVALS

APR NO. 04-007	NEW HORSEBARN AND REMODELED HAYBARN
APR NO. 10-038	NEW 53,000 GALLON WATER TANK
APR NO. 12-049	NEW STUDIO BUILDING

PROJECT DATA

LEGAL DESCRIPTION:	LAND OF MATTHEW KELLER IN THE RANCHO TOPANGA MALIBU SEQUIT LOT COM S 5445 FT AND N 80 46'30" W 370 FT FROM NE COR OF LOT 20 TH S TO N LINE OF PACIFIC COAST HWY TH W THEREON 553.65 FT TH N TO A PT
ASSESSOR'S PARCEL NO:	4473-002-002
ZONING	RR-5 / RURAL RESIDENTIAL-5 ACRE
OCCUPANCY TYPE:	SINGLE FAMILY RESIDENTIAL
TYPE OF CONSTRUCTION	TYPE V / SPRINKLERED
DESCRIPTION OF WORK:	CONSTRUCTION OF NEW MAIN RESIDENCE. DEMOLITION OF EXISTING MAIN RESIDENCE , COVERED PORCH , AND GARAGE FACADE UPGRADE TO EXISTING GUEST HOUSE: NEW EXT. SIDING, WINDOWS, ROOF NEW SWIMMING POOL; BMP EROSION CONTROL NEW TERRACES AND RETENTION BASINS
NEW BUILDING SQUARE FOOTAGE	11,232.8 SQ. FT. GROSS
CREDIT FOR SUBTERRANEAN LEVEL 2,743.5 SQ. FT. GROSS: FIRST 1,000 SQ. FT. OF SUBTERRANEAN LEVEL AND 50% OF REMAINING SUBTERRANEAN LEVEL	(1,871.7 SQ. FT.)
ADJUSTED NEW SQUARE FOOTAGE	9,360.5 SQ. FT.
DEMOLITION OF EXISTING SQUARE FOOTAGE	3,937 SQ. FT. MAIN HOUSE: 3,385 SQ. FT. GARAGE 552 SQ. FT.
PROPOSED TDSF ON PROPERTY BEYOND TDSF ALLOWED	5,241.5 SQ. FT.

VICINITY MAP

PROJECT DIRECTORY

ARCHITECT

COFFMANDESIGN
COLLABORATIVE

ARCHITECTURE
21781 VENTURA BLVD
SUITE 527
WOODLAND HILLS, CA 91364
T 818.980.9989
F 818.980.9996
WWW.COFFMANDESIGN.COM

Contact:
Lauren Coffman, Principal
c. 818.419.1377
e. lauren@coffmandesign.com

PROPERTY OWNER
Klaus Heidegger
19901 Northridge Road
Chatsworth, CA 91311
t. 818.363.7038
f. 818.832.9334
e. klausace@monarchinter.com

CIVIL ENGINEER
Holmes Enterprises, Inc.
200 Wicks Road
Moorpark, CA 93021
Contact: Dan Holmes
t. 805.532.1571
f. 805.532.1596
e: sholmes932@prodigy.net

GEOTECHNICAL ENGINEER
Gold Coast Geoservices, Inc.
5217 Verdugo Way Suite B
Camarillo,CA 93012
Contact: Scott Hogrefe
t. 805.484.5070
f. 805.484.4295
e. scott@goldcoastgeoservices.com

Received
Sept. 16, 2019
Planning Dept.

NEW MAIN HOUSE / 33603 PACIFIC COAST HIGHWAY
ISSUE FOR: PLANNING REVIEW 05.17.16
ISSUE FOR: PLANNING REVIEW-ADDED BMP EROSION CONTROL, GRADING NEW TERRACES AND RETENTION BASIN 02.19.18
ISSUE FOR: PLANNING PHASE / FIRE DEPARTMENT REVIEW WATER TANK SYSTEM APPROVED BY FIRE MARSHAL 5.21.19
ISSUE FOR: PLANNING PHASE / FIRE DEPARTMENT REVIEW WATER TANK SYSTEM APPROVED BY FIRE MARSHAL/FINAL REVIEW 6.24.19
ISSUE FOR: FINAL PLANNING PHASE REVIEW 9.10.19

ATTACHMENT 2

LOS ANGELES COUNTY FIRE DEPARTMENT NOTES

FIRE DEPT. VEHICULAR ACCESS MUST BE INSTALLED AND MAINTAINED IN A SERVICEABLE MANNER PRIOR TO AND DURING TIME OF CONSTRUCTION. FIRE CODE 501.4

THE REQUIRED FIRE FLOW FOR PUBLIC HYDRANTS AT THIS LOCATION IS 1250 GALLONS PER MINUTE AT 20 PSI FOR A DURATION OF 2 HOURS, OVER AND ABOVE THE MAXIMUM DAILY DOMESTIC DEMAND. FIRE CODE 508.3 AND FIRE DEPARTMENT REGULATION 8.

ALL ROOF COVERINGS SHALL BE CLASS "A" AS SPECIFIED IN BUILDING CODE 1505.2. WOOD SHINGLE AND WOOD SHAKE ROOFS ARE PROHIBITED IN VERY HIGH FIRE HAZARD SEVERITY ZONES
REGARDLESS OF CLASSIFICATION. (FIRE CODE 4710.1.2)

TILE ROOFS SHALL BE FIRE–STOPPED AT EAVE ENDS TO PRECLUDE ENTRY OF FLAME OR EMBERS UNDER THE TILE. BUILDING CODE 6403.2

WALLS FORMING THE ENCLOSURE OF A BUILDING SHALL BE OF ONE–HOUR FIRE–RESISTIVE CONSTRUCTION ON THE EXTERIOR SIDE AS APPROVED BY THE BUILDING OFFICIAL. BUILDING CODE 6403.3

ALL EXTERIOR WINDOWS, CURTAIN AND WINDOW WAILS, SKYLIGHTS, AND EXTERIOR DOORS SHALL UTILIZE MULTI–GLAZED PANELS. BUILDING CODE 6403.4

ACCESSORY STRUCTURES SUCH AS CARPORTS, DECKS, OR PATIO ROVERS WHICH ARE ATTACHED TO OR WITHIN 20 FEET OF A RESIDENTIAL BUILDING, MUST BE ONE–HOUR FIRE–RESISTIVE CONSTRUCTION, HEAVY TIMBER CONSTRUCTION, OR NONCOMBUSTIBLE CONSTRUCTION. BUILDING CODE 6403.7, 6403.9

EAVES AND SOFFITS OF BARN SHALL MEET THE FOLLOWING:
a. NONCOMBUSTABLE CONSTRUCTION ON THE EXPOSED UNDERSIDE OR
b. PROTECTED BY IGNITION–RESISTANT MATERIALS OR
c. MEET THE REQUIREMENTS OF SFM 12–7A–3
FIRE CODE 4710.2.3

BUILDING AND SAFETY NOTES

1. GLASS DOORS, ADJACENT PANELS, AND ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD PER THE UBC.
2. PRIOR TO FINAL INSPECTION, A CERTIFICATION COMPLIANCE SHALL BE MADE READY FOR THE INSPECTION. THE CERTIFICATION SHALL STATE THAT " BASED UPON PERSONAL KNOWLEDGE, THAT THE WORK APPEARS TO HAVE BEEN PERFORMED AND THE MATERIALS USED AND INSTALLED APPEAR IN EVERY MATERIAL RESPECT TO BE IN COMPLIANCE WITH THE PLANS."
3. ALL LAVATORIES TO HAVE LEVER HARDWARE, UNLESS SINGLE FAMILY RESIDENCE.
4. DOORS OPENING INTO REQUIRED ONE HOUR FIRE RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP FIRE ASSEMBLY HAVING A RATING OF NOT LESS THAN 20 MINUTES WITH SELF CLOSURES.
5. A SEISMIC GAS SHUTOFF VALVE IS TO BE INSTALLED ON EACH FUEL GAS LINE FOR NEW BUILDINGS AND FOR ADDITIONS OR ALTERATIONS WITH A VALUATION OF $10,000 OR MORE. FOR PERMIT INFORMATION CONTACT THE PLUMBING DIVISION AT (213) 485–2311.
6. A. PROVIDE ULTRA LOW WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
B. PROVIDE 70 INCH HIGH NON–ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER–RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
7. INSULATION SHALL CONFORM TO FEDERAL SPECIFICATIONS HH–I–521E WITH A THERMAL RESISTANCE (R) OF NOT LESS THAN 19 FOR WALLS & R30 FOR ROOFS.
8. ALL INSULATING MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL.
9. ALL INSULATION MATERIALS INSTALLED WITHIN FLOOR–CEILING ASSEMBLIES, WALLS, CRAWL SPACES, OR ATTICS SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT EXCEED 450 WHEN TESTED IN ACCORDANCE WITH UBC STANDARD NO. 42–1 (CBC 1713 (B), (C)).
10. PROVIDE APPROVED FIRE DAMPERS WHERE AIR DUCTS PENETRATE FIRE RATED WALLS OR CEILINGS.
11. FIRE PROTECTION FACILITIES, INCLUDING ACCESS, MUST BE PROVIDED PRIOR TO AND CONSTRUCTION.
12. PROVIDE RECESSED FIRE EXTINGUISHER CABINETS. IF EXISTING CONDITIONS DO NOT ALLOW FOR RECESSED CABINETS, PROVIDE SURFACE MOUNTED CABINETS.

GENERAL CONSTRUCTION NOTES

1. NOT USED.
2. BEFORE STARTING CONSTRUCTION, THE CONTRACTOR(S) SHALL REVIEW AND VERIFY ALL DRAWINGS AND DIMENSIONS AND CONDITIONS AT THE JOB SITE. DISCREPANCIES IN THE DRAWINGS AND ACTUAL FIELD CONDITONS SHALL BE REPORTED TO THE ARCHITECT BEFORE CONSTRUCTION IS BEGUN.
3. DRAWINGS ARE NOT TO BE SCALED. DISCREPANCIES DIMENSIONAL OR OTHERWISE ARE TO BE CLARIFIED WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
4. ANY OMISSIONS, DISCREPANCIES OR APPARENT ERRORS FOUND IN THE DRAWINGS OR SPECIFICATIONS SHALL BE PROMPTLY SUBMITTED TO THE ARCHITECT FOR CLARIFICATIONS. ONLY THE ARCHITECT IS AUTHORIZED TO ISSUE SUCH CLARIFICATION RELATIVE TO THE PROJECT. THE CONTRACTOR SHALL REQUEST IN WRITING, AN INTERPRETATION, CLARIFICATION OR ADDITIONAL DETAILED INSTRUCTIONS BEFORE PROCEEDING WITH THE WORK AFFECTED.
5. ALL WORK, CONSTRUCTION AND MATERIALS, SHALL COMPLY WITH PROVISIONS OF THE BUILDING CODE AND WITH OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE PROJECT. BUILDING CODE REQUIREMENTS SHALL TAKE PRECEDENCE OVER THE DRAWINGS, AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO INSTALL HIS WORK IN CONFORMANCE WITH THE CODE AND TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING MATERIALS, EQUIPMENT, AND FINISHES IN THE PROJECT AREA.
7. CONTRACTOR AND HIS SUB–CONTRACTORS SHALL BE MUTUALLY RESPONSIBLE FOR REPAIRING, REPLACING OR REFINISHING ANY EXISTING OR IN–PLACE WORK ALTERED OR DAMAGED BY THEIR OPERATIONS.
8. RUBBISH AND DEBRIS SHALL BE HAULED AWAY FROM SITE PROMPTLY AND LEGALLY DISPOSED.
9. THE CONTRACTOR IS TO VERIFY EQUIPMENT, ELECTRICAL AND MECHANICAL PLANS, FOR LOCATION OF UTILITIES, FIXTURES, CURBS, HOODS, DUCTS, AND PIPING. DUCTS AND/OR PIPES PENETRATING NEW WALLS SHALL BE PROVIDED WITH NECESSARY FRAMES, BRACING AND SEALANT AROUND OPENINGS.
10. THE CONTRACTOR SHALL PROVIDE PROTECTION FOR THE PUBLIC DURING THE COURSE OF THE WORK AS REQUIRED BY UBC.
11. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT OF BUILDING AND SAFETY IN COMPLIANCE WITH SECTION 3800 OF THE CALIFORNIA LABOR CODE AND BEFORE A PERMIT CAN BE ISSUED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SITE SAFETY, CONSTRUCTION METHODS OR TECHNIQUES AND SHALL AT ALL TIMES INSURE THE SAFETY OF WORKERS FROM CONSTRUCTION SITE ACCIDENTS.
13. IF UNCOVERED CONDITIONS ARE NOT AS ANTICIPATED, IMMEDIATELY NOTIFY THE ARCHITECT AND SECURE NECESSARY INSTRUCTIONS.
14. CONTRACTOR SHALL PROVIDE OR OBTAIN ALL PERMITS, LABOR, CARTAGE, MATERIALS, TOOLS AND EQUIPMENT NECESSARY TO COMPLETE THE WORK.
15. CONTRACTOR AND SUB–CONTRACTOR SHALL USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN NECESSARY CRAFTS AND ARE COMPLETELY FAMILIAR WITH THE REQUIREMENTS AND METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND ONSITE COORDINATION OF THE WORK OF ALL INVOLVED SUB–CONTRACTORS AND TRADES TO MAINTAIN EFFICIENCY AND QUALITY DURING PROGRESS OF WORK.
17. ANY SUBSTITUTIONS OR ALTERNATES TO THE PLANS OR SPECIFICATIONS MUST BE REQUESTED IN WRITING BY THE CONTRACTOR AND APPROVED IN WRITING BY THE ARCHITECT PRIOR TO ORDERING OR INSTALLATION.
18. ANY SUBMITTALS OR SHOP DRAWINGS REQUIRING REVIEW BY THE ARCHITECT SHALL BE PROVIDED PROMPTLY FOR HIS REVIEW AND APPROVAL.
19. CONTRACTOR SHALL INSPECT ALL PRODUCT AND MATERIAL DELIVERIES AT THE TIME OF ARRIVAL, TO CERTIFY THEIR QUALITY AND CONFORMANCE WITH PLANS AND SPECIFICATION.
20. PRIOR TO SUBMITTING BID, CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS.
21. TO ENABLE ORDERLY REVIEW DURING PROGRESS OF THE WORK AND TO PROVIDE SYSTEMATIC DISCUSSION OF THE PROBLEMS, THE ARCHITECT WILL CONDUCT PROJECT MEETINGS AS NEEDED THROUGHOUT THE PROJECT.
22. REFERENCE TO ANY DETAIL OR DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DRAWINGS OR DETAIL.
23. CONTRACTOR SHALL PROVIDE SECURITY FENCE AND GATES TO COMPLETELY ENCLOSE THE SITE AND SHALL BE RESPONSIBLE FOR KEEPING IT LOCKED AT ALL TIMES WHEN WORK IS NOT IN PROGRESS. CONTRACTOR SHALL ALSO MAINTAIN PROPER SECURITY AND PROTECTION OF SITE AND ITS CONTENTS DURING WORK HOURS.
24. AN APPROVED SANITARY TOILET IS TO BE INSTALLED BEFORE WORK STARTS.
25. THE SITE AND PREMISES SHALL BE KEPT CLEAN AND HAZARD–FREE. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING HIS EQUIPMENT, MATERIALS, AND WORK IN A NEAT, CLEAN, ORDERLY AND SAFE CONDITION AT ALL TIMES.
26. DURING THE ENTIRE CONSTRUCTION PERIOD, SUB–CONTRACTORS AND WORKMEN SHALL PARK AT OFF–STREET PARKING LOCATIONS WITH ALL CITY TRAFFIC AND PARKING REGULATIONS ADHERED TO.
27. CONTRACTOR SHALL INSPECT ALL PRODUCT AND MATERIAL DELIVERIES AT THE TIME OF ARRIVAL TO CERTIFY THEIR QUALITY AND CONFORMANCE WITH PLANS AND SPECIFICATIONS.
28. ALL MATERIALS SHALL BE NEW, OF GRADE SPECIFIED AND BE GUARANTEED AGAINST INHERENT AND/OR DEVELOPED DEFECTS.
29. CONTRACTOR SHALL PROVIDE PROPER PROTECTION FROM WEATHER OR OTHER DAMAGE FOR ALL MATERIALS AND PRODUCTS PRESENT AT THE SITE AS WELL AS ALL IN–PLACE PRODUCTS AND FINISHED SURFACES.
30. CONTRACTOR SHALL STORE AND MAINTAIN ALL FINISH MATERIALS AND PRODUCTS AS WELL AS WOODS AND METALS IN A DRY AND COVERED STATE, ELEVATED FROM NATURAL GROUND AND ANY POTENTIALLY DAMP OR ABRASIVE SURFACE.
31. PRIOR TO CUTTING AND PATCHING, INSPECT EXISTING CONDITIONS AT AREAS AFFECTED AND REVIEW THESE WITH ARCHITECT AND ENGINEER TO ESTABLISH PROCEDURES, AS NECESSARY.
32. PROVIDE REQUIRED PROTECTION PRIOR TO CUTTING THE EXISTING STRUCTURE, INCLUDING BUT NOT LIMITED TO THE SHORING, BRACING WRAPPING AND SUPPORT TO MAINTAIN THE STRUCTURAL INTEGRITY AND FINISH SURFACES OF THE WORK.
33. DEACTIVATE ALL UTILITY LINES IN CONTRACT AREA BEFORE STARTING WORK. SECURE PERMISSION FROM OWNER PRIOR TO DEACTIVATION.
34. GENERAL CONTRACTOR SHALL OBTAIN CAL–OSHA PERMIT FOR TRENCHES OF 5'–0".
35. ELECTRICAL SYSTEM SHALL BE GROUNDED IN ACCORDANCE WITH LOCAL CODE REGULATIONS.
36. ALL BOLTS SHALL BE FITTED WITH STANDARD CUT WASHERS. HOLES FOR BOLTS IN TIMBER SHALL BE BORED WITH BIT WHOSE DIAMETER IS 1/32" LARGER THAN THE NOMINAL BOLT DIAMETER.
37. LIGHT SWITCHES AND OTHER ELECTRICAL SWITCHES IN THE SAME VICINITY OF A WALL SHALL BE PLACED IN THE SAME BOX WITH SINGLE COVER PLATE.
38. ALL OPENINGS INDICATED ON THE DOOR SCHEDULE AS SECURITY OPENINGS SHALL CONFIRM TO THE FOLLOWING:
    A. ALL PIN TYPE HINGES WHICH ARE ACCESSIBLE FROM OUTSIDE THE SECURED AREA WHEN THE DOOR IS CLOSED SHALL HAVE NON–REMOVABLE HINGE PINS. IN ADDITION, THEY SHALL HAVE A MINIMUM 1/4" DIAMETER STEEL JAMB STUD WITH 1/4" MINIMUM PROJECTION UNLESS THE HINGES ARE SHAPED TO PREVENT REMOVAL OF THE DOOR IF THE HINGE PINS ARE REMOVED.
    B. THE STRIKE PLATE FOR LATCHES AND THE HOLDING DEVICE FOR PROJECTION DEADBOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NOT LESS THAN 2–1/2" IN LENGTH.
    C. DEADBOLTS SHALL CONTAIN HARDENED INSERTS.
    D. STRAIGHT DEADBOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8".
    E. A HOOK–SHAPED OR EXPANDING–LUG DEAD BOLT SHALL HAVE A MINIMUM THROW OF 3/4".
    F. WOOD FLUSH–TYPE DOORS SHALL HAVE A MINIMUM 1 3/8" THICKNESS WITH SOLID CORE CONSTRUCTION.
    G. HOLLOW CORE DOORS LESS THAN 1 3/8" THICKNESS SHALL BE COVERED ON THE INSIDE FACE WITH 16 GAUGE SHEET METAL ATTACHED WITH SCREWS AT 6" ON CENTERS AROUND THE PERIMETER OR EQUIVALENT.
    H. GLASS DOORS SHALL HAVE FULLY TEMPERED GLASS COMPLYING WITH THE UBC.
    I. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER PROJECTS BEYOND THE FACE OF THE LOCK OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.
39. ALL DIMENSIONS SHOWN ARE TO FINISH, CENTER OF COLUMNS, OR FACE OF MASONRY UNLESS OTHERWISE NOTE.
40. PROVIDE BLOCKING AS REQUIRED FOR THE FIRE EXTINGUISHERS, CONTINUOUS RACKS, ACCESSORIES, TOILET PARTITIONS, LIGHT FIXTURES, SHELVING, CABINETS SIGNS, ETC.
41. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN UBC TABLE 42–B.
42. PROVIDE SMOKE DETECTORS AS REQUIRED BY THE UBC.
43. ANY DECORATIONS USED SHALL BE NON–COMBUSTILE OR FLAMEPROOFED IN AN APPROVED MANNER.
44. ALL DRYWALL SHALL BE 5/8" THICK GYPSUM BOARD "TYPE X" UNLESS OTHERWISE NOTED.
45. NO EXPOSED FASTENERS SHALL BE USED UNLESS DIRECTED BY THE ARCHITECT OR DETAILED ON THE DRAWINGS.
46. FASTEN ALL ITEMS BY CONCEALED MECHANICAL MEANS UNLESS OTHERWISE DIRECTED BY ARCHITECT.
47. ALL MATERIALS WHICH CAN NOT ACHIEVE THE FULL DIMENSION SHOWN ON THE CONSTRUCTION DRAWINGS SHALL BE DIVIDED BY THE ARCHITECT.
48. ALL JOINTS AND REVEALS INDICATED ON THE CONSTRUCTION DRAWINGS AS ALIGNING SHALL BE COORDINATED BETWEEN THE DIFFERENT TRADES TO MAINTAIN THE PROPER ALIGNMENTS THROUGHOUT THE PROJECT.
49. ALL REVEALS AND OR JOINERY SHALL RECEIVE THE SAME FINISH AS THE ADJACENT SURFACE(S), UNLESS NOTED OTHERWISE. ALL SURFACES WILL RECEIVE AT MINIMUM, A PAINTED FINISH, UNLESS NOTED OTHERWISE.
50. EVERY NEW OUTLET, SWITCH, LIGHT, DIFFUSER, SIGN, ALARM, FIRE EXTINGUISHER, SPEAKER, ETC. SHALL BE LOCATED WITH CONCERN FOR ALIGNMENT ADJACENT WORK. IF THE ALIGNMENT IS NOT CLEARLY INDICATED ON THE CONSTRUCTION DRAWINGS, CONSULT WITH THE ARCHITECT PRIOR TO INSTALLATION.
51. UNLESS NOTED OTHERWISE, ALL SEALANT COLORS OR FILLING MATERIALS SHALL MATCH ADJACENT SURFACES.

ABBREVIATIONS

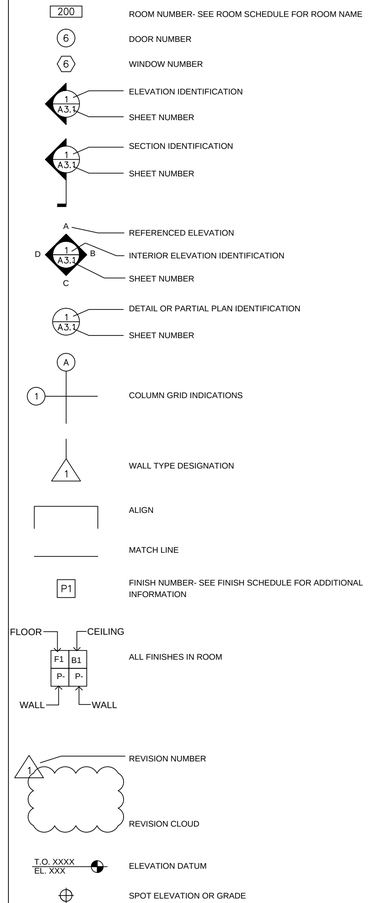
A/C	AIR CONDITIONING
A.C. TILE	ACOUSTICAL CEILING
ACOUS.	ACOUSTICAL
ADJ.	ADJACENT
ADJUST.	ADJUSTABLE
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
AMP.	AMPERE
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
BDA	BECKSON DESIGN ASSOCIATES
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG	BLOCKING
BOT.	BOTTOM
CAB.	CABINET
C.B.	CORNER BEAD
CEM.	CEMENT
CLG.	CEILING
CLOS.	CLOSET
CLR.	CLEAR
CLR. OPEN.	CLEAR OPENING
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
CORR.	CORRIDOR
CPT.	CARPET
C.T.	CERAMIC TILE
CTR.	CENTER
CW	COLD WATER
D.	DEEP
DBL.	DOUBLE
DED.	DEDICATED
DEPT.	DEPARTMENT
D.F.	DRINKING FOUNTAIN
DIA.	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DN.	DOWN
DR.	DOOR
D.S.P.	DRY STAND PIPE
DTL.	DETAIL
DWG.	DRAWING
DWR.	DRAWER
E.	EAST
EA.	EACH
E.F.	EXHAUST FAN
ELEV.	ELEVATION
ELEC.	ELECTRIC
EL.	ELEVATOR
EQ.	EQUAL
EXIST.	EXISTING
EXP.	EXPANSION
EXP'D.	EXPOSED
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
F.E.C.	FIRE EXTINGUISHER CABINET
F.H.C.	FIRE HOSE CABINET
FIN.	FINISH
FIXT.	FIXTURE
FLR.	FLOOR
FLUOR.	FLUORESCENT
F.O.C.	FACE OF COLUMN
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.S.	FLOOR SINK
FT.	FOOT OR FEET
FULL	FULL SIZE
FURN.	FURNITURE
FURR.	FURRING

GAL.	GALLON
GA.	GAUGE
GALV.	GALVANIZED
G.C.	GENERAL CONTRACTOR
G.F.I.	GROUND FAULT INTERRUPT
GL.	GLASS
GRND.	GROUND
GR.	GRADE
GYP.	GYPSUM
GYP. BD.	GYPSUM WALLBOARD
H.	HIGH
H.C.	HOLLOW CORE
HDWD.	HARDWOOD
HDWE.	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR.	HOUR
HT.	HEIGHT
H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING
HW	HOT WATER
I.D.	INSIDE DIAMETER
.	(DIMENSION)
IN.	INCH
INSUL.	INSULATION
INT.	INTERIOR
JAN.	JANITOR
JT.	JOINT
KIT.	KITCHEN
LAM.	LAMINATE
LAV.	LAVATORY
LBS.	POUNDS
L.H.	LEFT HAND
LT.	LIGHT
MAINT.	MAINTENANCE
MAS.	MASONRY
MATL.	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MLWK.	MILLWORK
M.O.	MASONRY OPENING
MTD.	MOUNTED
MTL.	METAL
MUL.	MULLION
N.	NORTH
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER (DIMENSION)
OFF.	OFFICE
OPNG.	OPENING
OPP.	OPPOSITE
PL.	PLATE
P.LAM.	PLASTIC LAMINATE
PLAS.	PLASTER
PLUMB.	PLUMBING
PLYWD.	PLYWOOD
PNL.	PANEL
PR.	PAIR
PROJ.	PROJECTION
PT.	POINT
PTN.	PARTITION

ABBREVIATIONS

R.	RISER
RAD.	RADIUS
REF.	REFERENCE
REFR.	REFRIGERATOR
REINF.	REINFORCED
REQ'D.	REQUIRED
RESIL.	RESILIENT
R.H.	RIGHT HAND
RM.	ROOM
R.O.	ROUGH OPENING
S.	SOUTH
S.C.	SOLID CORE
S C	SEPARATE CIRCUIT
SCHED.	SCHEDULE
SECT.	SECTION
SEP.	SEPARATE
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
S Q.	SQUARE
S.S.	STAINLESS STEEL
STA.	STATION
STD.	STANDARD
STG'D.	STAGGERED
STL.	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SYM.	SYMMETRICAL
T.	TREAD
TEL.	TELEPHONE
TEMP.	TEMPERED
T&G	TONGUE AND GROOVE
TH.	THICK
T.O.W.	TOP OF WALL
T.V.	TELEVISION
TYP.	TYPICAL
U.L.	UNDERWRITERS LABORATORY
UNF.	UNFINISHED
U.O.N.	UNLESS OTHERWISE NOTED
U.S.	UNDER SIDE
V.	VOLTS
V.C.T.	VINYL COMPOSITION TILE
VERT.	VERTICAL
VEST.	VESTIBULE
V.I.F.	VERIFY IN FIELD
W.	WEST, WIDE
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W.H.	WATER HEATER
W/O	WITHOUT
WP.	WATERPROOF
W.R.	WATER RESISTANT
WT.	WEIGHT

SYMBOLS



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No. / Revisions	*Date*

NEW MAIN RESIDEN(

Palms Of Malibu
33603 Pacific Coast Highway
Malibu, CA
Job Name / Address

LOS ANGELES COUNTY FIRI
DEPARTMENT NOTES
GENERAL CONSTRUCTION NOTES
DRAWING ABBREVIATIONS

Sheet Title

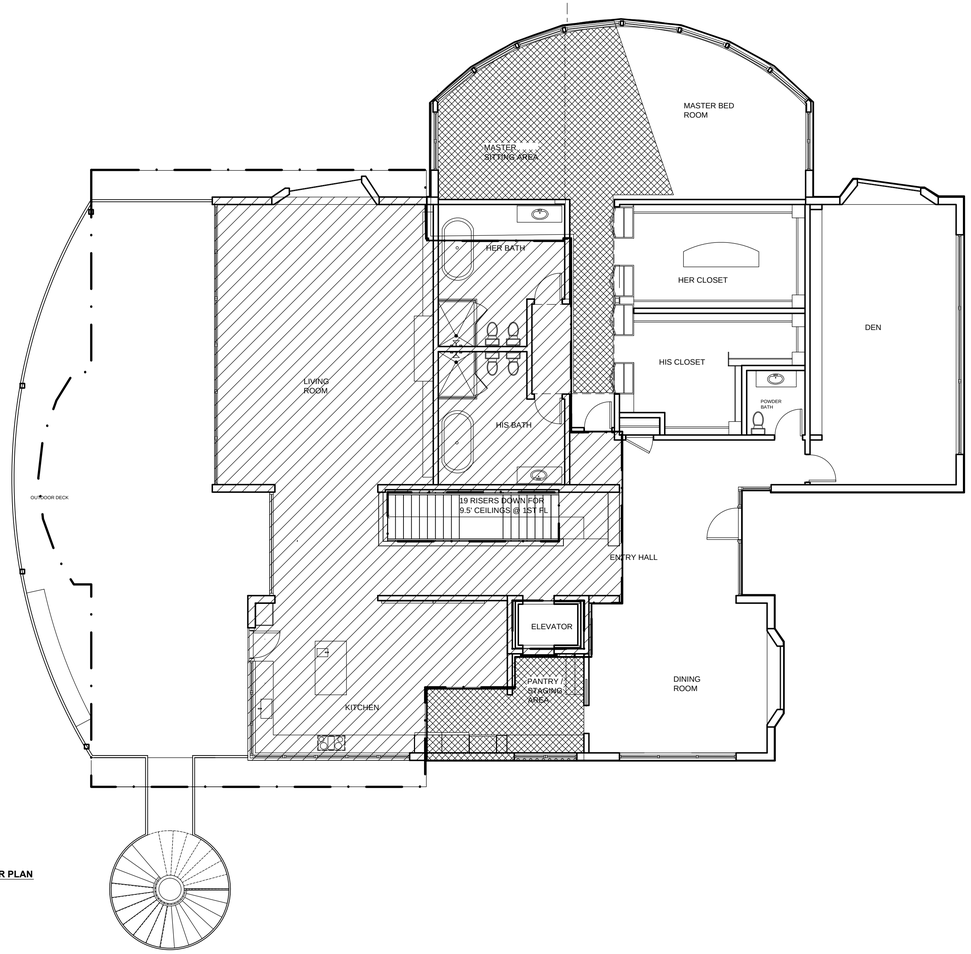
Job No.

A1.1NewMainResidenceCDFireConstrNotesAl
Cad File Name

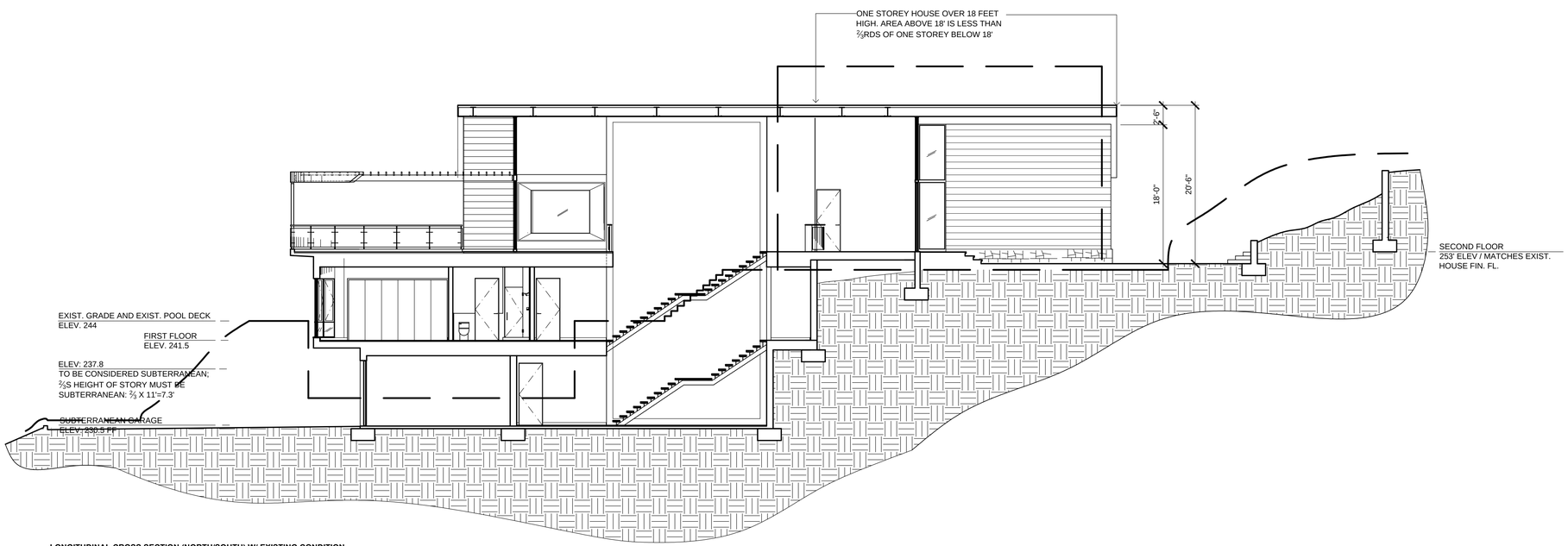
Final Planning Submittal	09.10.19
Ext.Door/Window Prelim. Pricing	08.29.16
Planning Submittal	05.17.16
Issued For	*Date*

1/4" = 1'-0"
Scale

A1.1
Sheet No.



SECOND FLOOR PLAN



LONGITUDINAL CROSS SECTION (NORTH/SOUTH) W/ EXISTING CONDITION

COMPLIANCE WITH ⅔RDS RULE

FIRST FLOOR: 3449.5 SQ. FT. NET
⅔RDS OF FIRST FLOOR = 2,280.3 SQ. FT.
SECOND FLOOR: 5,031 SQ. FT.
SECOND FLOOR STACKING OVER FIRST FLOOR:
***2,111.5 SQ. FT. THIS IS LESS THAN ⅔RDS OF FIRST FLOOR**
(*NOT INCLUDING STAIR/105.4 AND ELEVATOR/42 SQ. FT.)

AREA OF SECOND FLOOR THAT IS ONE STORY: 2,919.5
AREA OF SECOND FLOOR THAT IS GREATER IN HEIGHT THAN 18': 681 SQ. FT. THIS IS LESS THAN ⅔RDS OF 2,919.5 SQ. FT.

LEGEND

- AREA WHERE SECOND FLOOR STACKS OVER FIRST FLOOR
- LINE OF EXISTING HOUSE, PORCH AND POOL, TO BE DEMOLISHED
- OUTLINE OF FIRST FLOOR
- AREA OF SECOND FLOOR THAT IS GREATER THAN 18' IN HEIGHT

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Two Thirds Rule
Project Compliance

Sheet Title

Job No.
A1.22/3rdsRuleNewMainHouse33603PCHCD.d

Cad File Name

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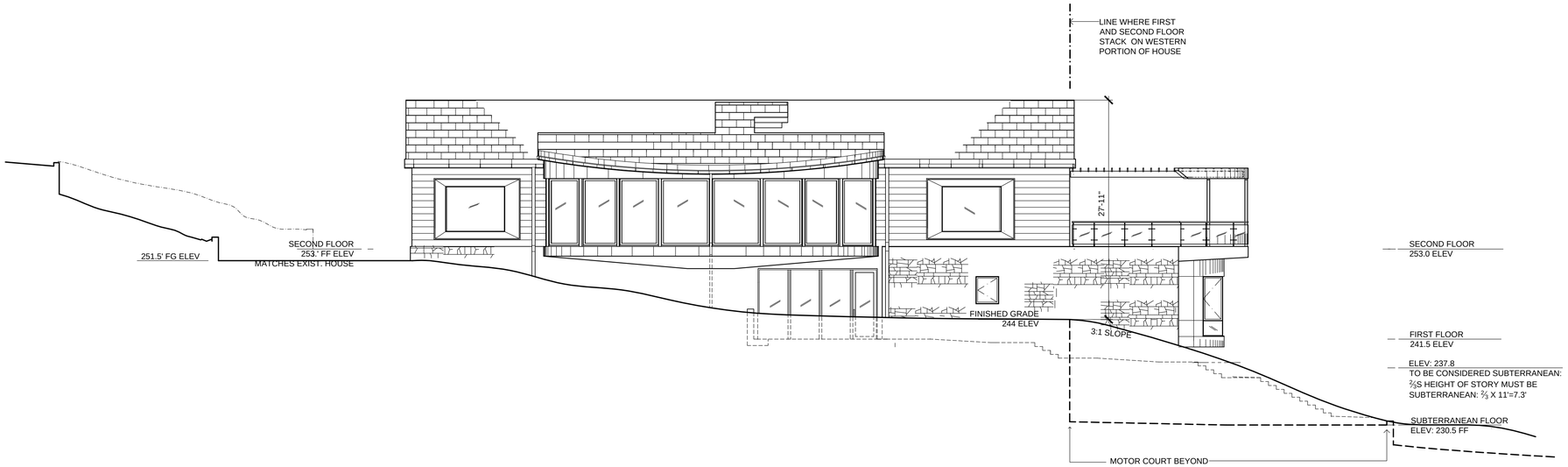
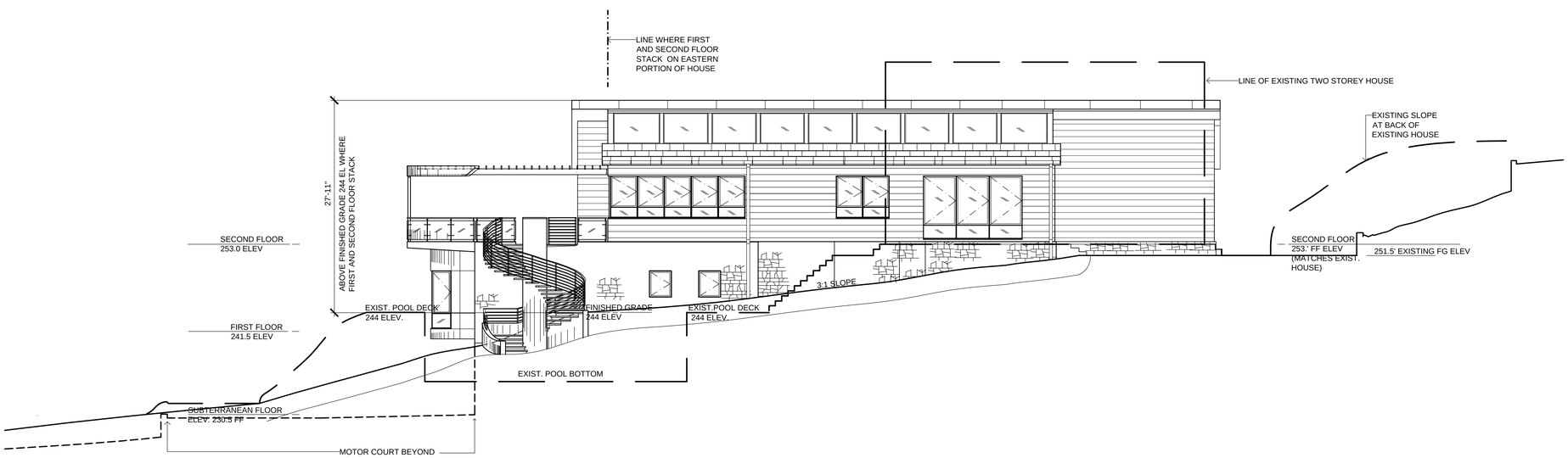
Planning Review	11.15.16
West Slope Grading	05.17.16
Planning Review Submittal	10.07.14
PrePlanning Review	

1/8" = 1'-0"
Scale

A1.2
Sheet No.



WEST ELEVATION W/ PARTIAL SITE SECTION



EAST ELEVATION W/ PARTIAL SITE SECTION AND EXISTING CONDITIONS

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BUILDING HEIGHT REVIEW
PARTIAL LONGITUDINAL SIT
SECTION W/ WEST BUILDIN
ELEVATION
PARTIAL LONGITUDINAL SIT
SECTION W/ EAST BUILDIN
ELEVATION

Sheet Title

Job No.

A1.3BuildingHeightNewMainHouse33603PCHC

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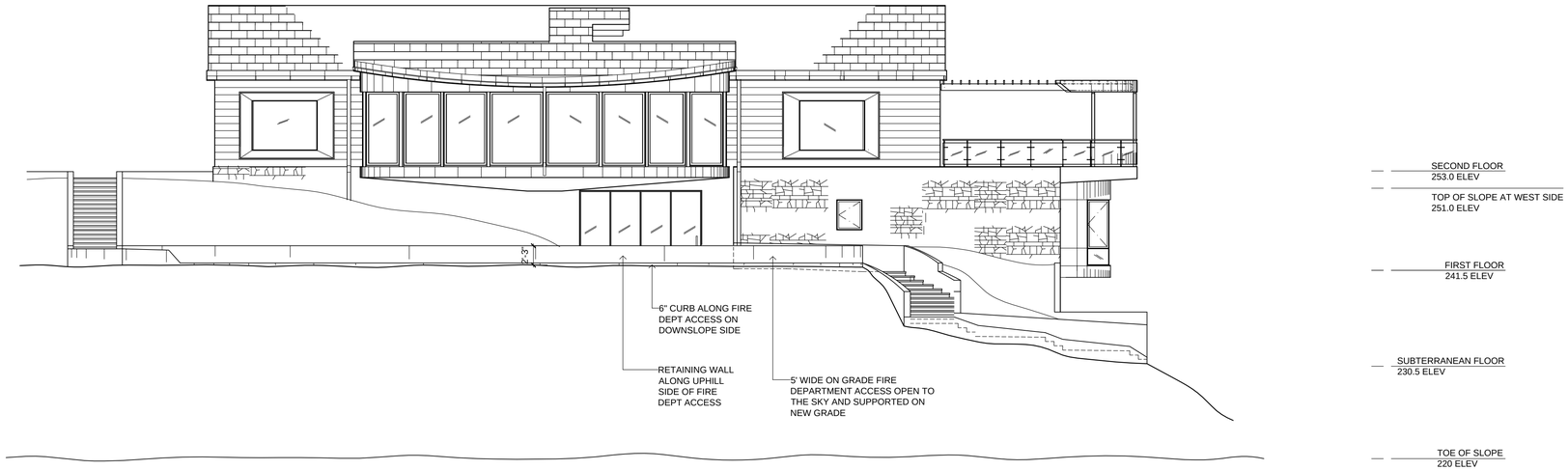
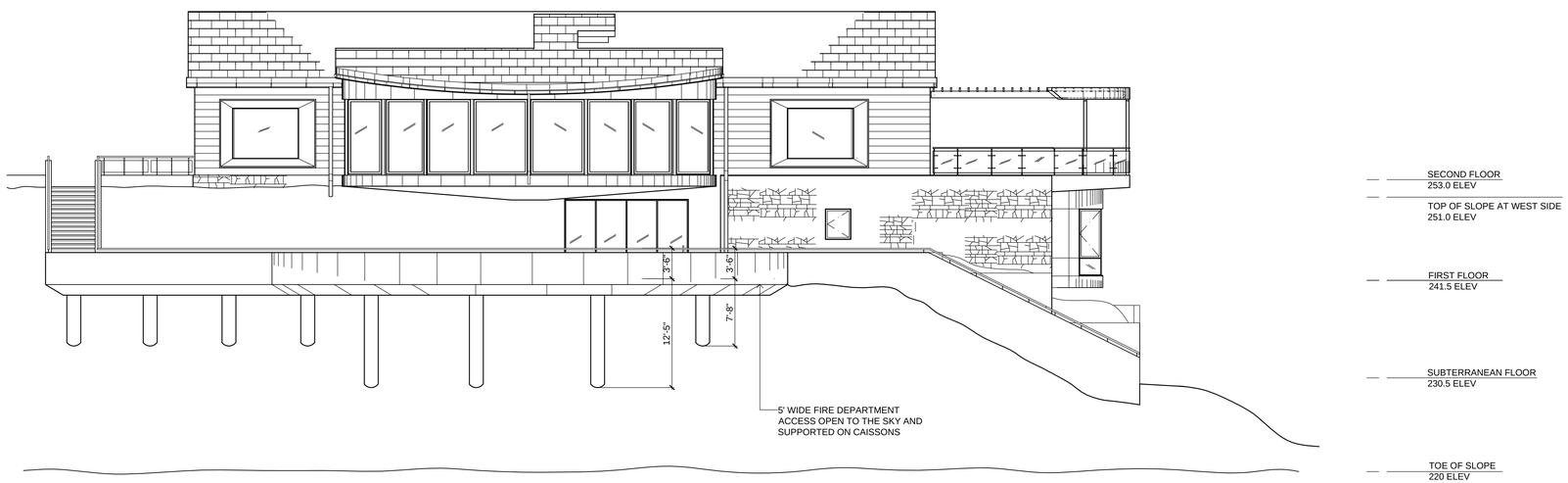
Planning Review	
West Slope Grading	11.15.16
Planning Review Submittal	05.17.16
PrePlanning Review	10.07.14

1/8" = 1'-0"
Scale

A1.3
Sheet No.



FIRE DEPARTMENT ACCESS WITH PROPOSED GRADED SLOPE



FIRE DEPARTMENT ACCESS WITH EXISTING SLOPE

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Chatsworth, CA

Owner

No. / Revisions *Date*

New Main House

33603 Pacific Coast Highway
Malibu, CA 90265

Job Name / Address

West Elevation:
Planning Grading
Comparison West Side
Proposed vs Existing

Sheet Title

Job No.

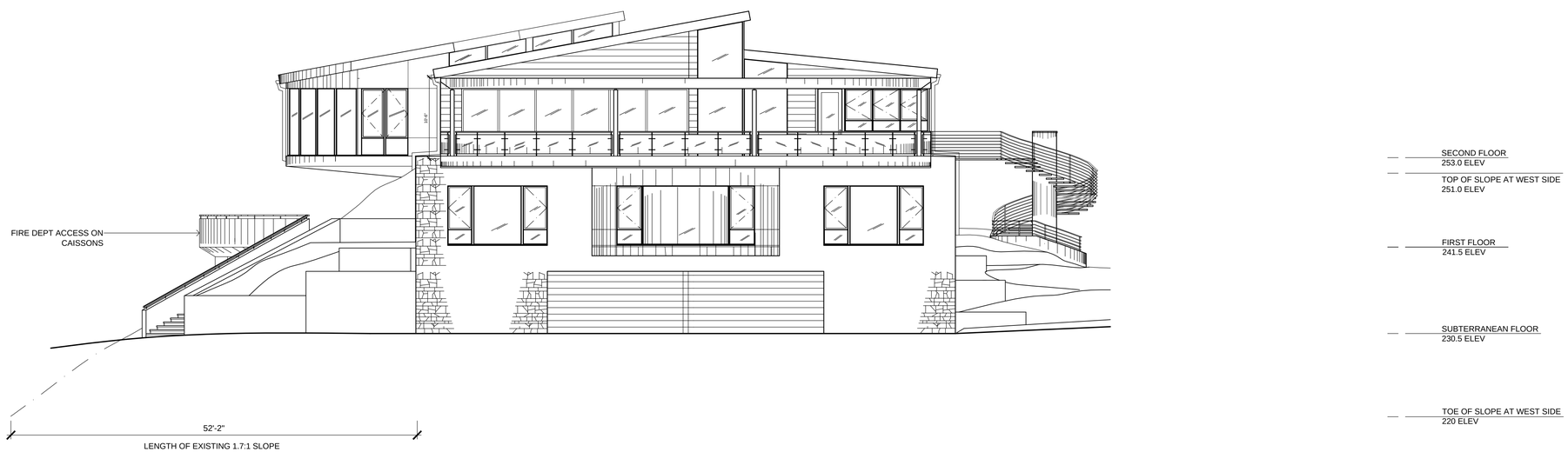
A1.4WestElevationPlanningGradingComparisc
ProposedVSExistCDNewMainHouseHeidegge
Cad File Name

Final Planning Review	9.10.19
Planning Review	
West Slope Grading	11.15.16
Planning Review Submittal	05.17.16
PrePlanning Review	10.07.14
Issued For	*Date*

1/8" = 1'-0"
Scale

A1.4
Sheet No.

FIRE DEPARTMENT ACCESS WITH PROPOSED GRADED SLOPE



FIRE DEPARTMENT ACCESS WITH EXISTING SLOPE

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Architect

Consultants

Klaus Heidegger
19901 Northridge Road
Chatsworth, CA

Owner

No. / Revisions *Date*

New Main House

33603 Pacific Coast Highway
Malibu, CA 90265

Job Name / Address

South Elevation:
Planning Grading
Comparison West Side
Proposed vs Existing

Sheet Title

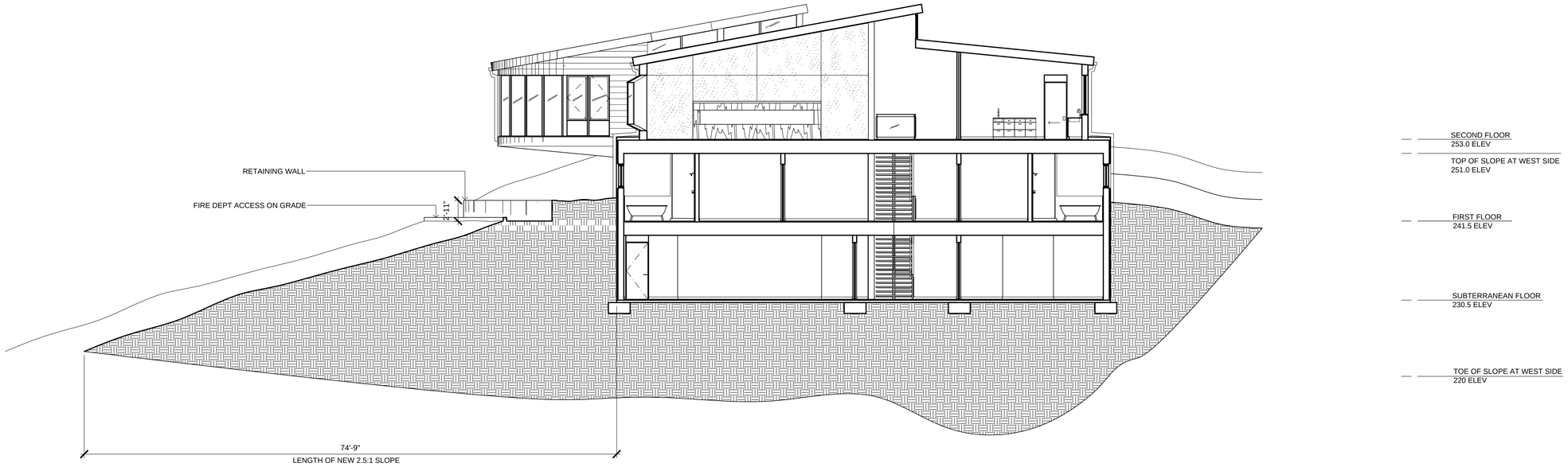
Job No.

A1.5SouthElevationPlanningGradingComparis
ProposedVSExistCDNewMainHouseHeidegge
Cad File Name

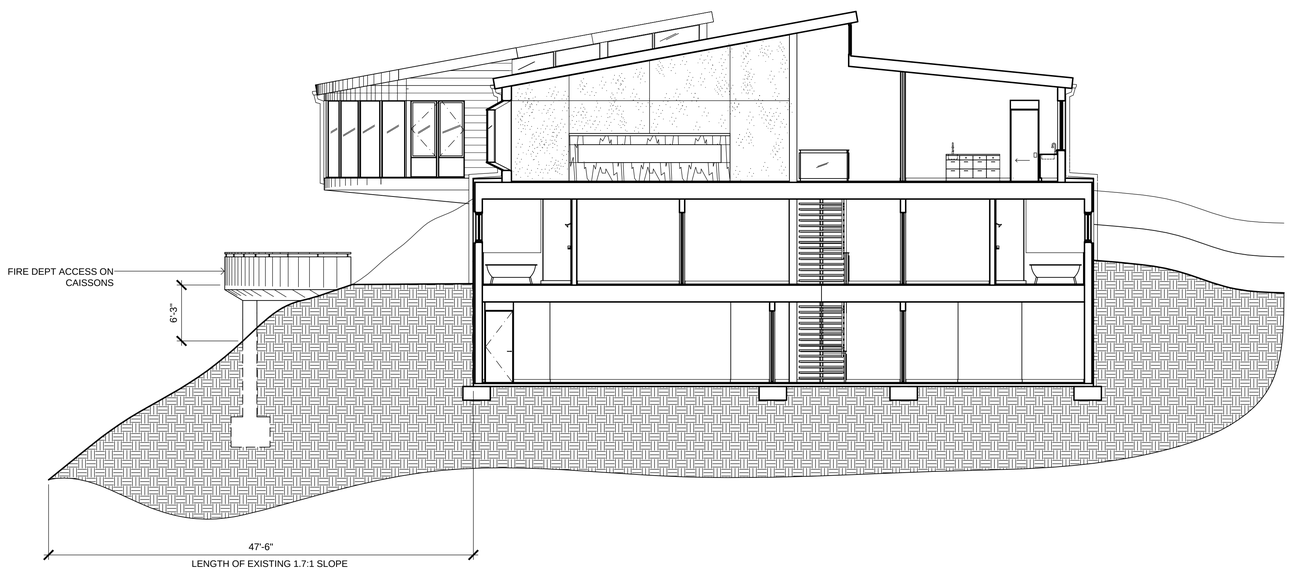
Issued For	*Date*
Final Planning Review	9.10.19
Planning Review	
West Slope Grading	11.15.16
Planning Review Submittal	05.17.16
PrePlanning Review	10.07.14

1/8" = 1'-0"
Scale

A1.5
Sheet No.



FIRE DEPARTMENT ACCESS WITH PROPOSED GRADED SLOPE



FIRE DEPARTMENT ACCESS WITH EXISTING SLOPE

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Job Name / Address

Cross Section Ref A4.2:
Planning Grading
Comparison West Side
Proposed vs Existing
Fire Department Access

Sheet Title

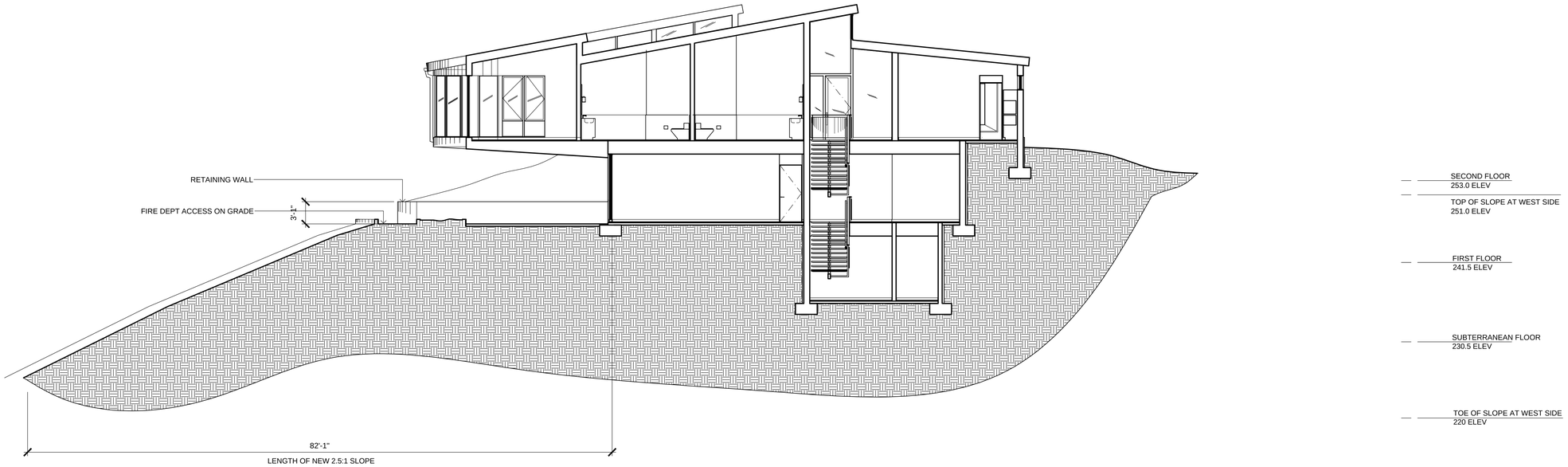
Job No.

A1.6CrossSectRefA4.2PlanningGradingCompar
ProposedVSExistCDNewMainHouseHeideggerR
Cad File Name

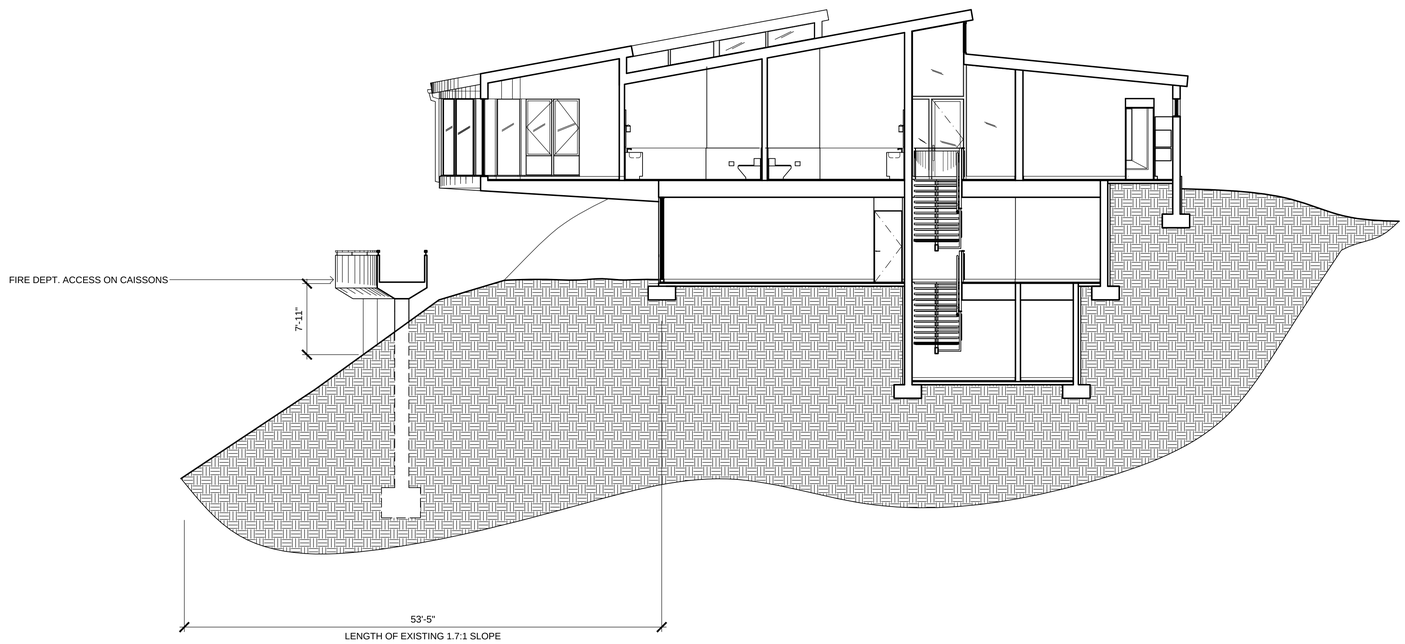
Issued For	*Date*
Final Planning Review	9.10.19
Planning Review	
West Slope Grading	11.15.16
Planning Review Submittal	05.17.16
PrePlanning Review	10.07.14

1/8" = 1'-0"
Scale

A1.6
Sheet No.



FIRE DEPARTMENT ACCESS WITH PROPOSED GRADED SLOPE



FIRE DEPARTMENT ACCESS WITH EXISTING SLOPE

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No. / Revisions	*Date*

New Main House

33603 Pacific Coast Highway
Malibu, CA 90265

Job Name / Address

Cross Section Ref A4.3:
Planning Grading
Comparison West Side
Proposed vs Existing
Fire Department Access

Sheet Title

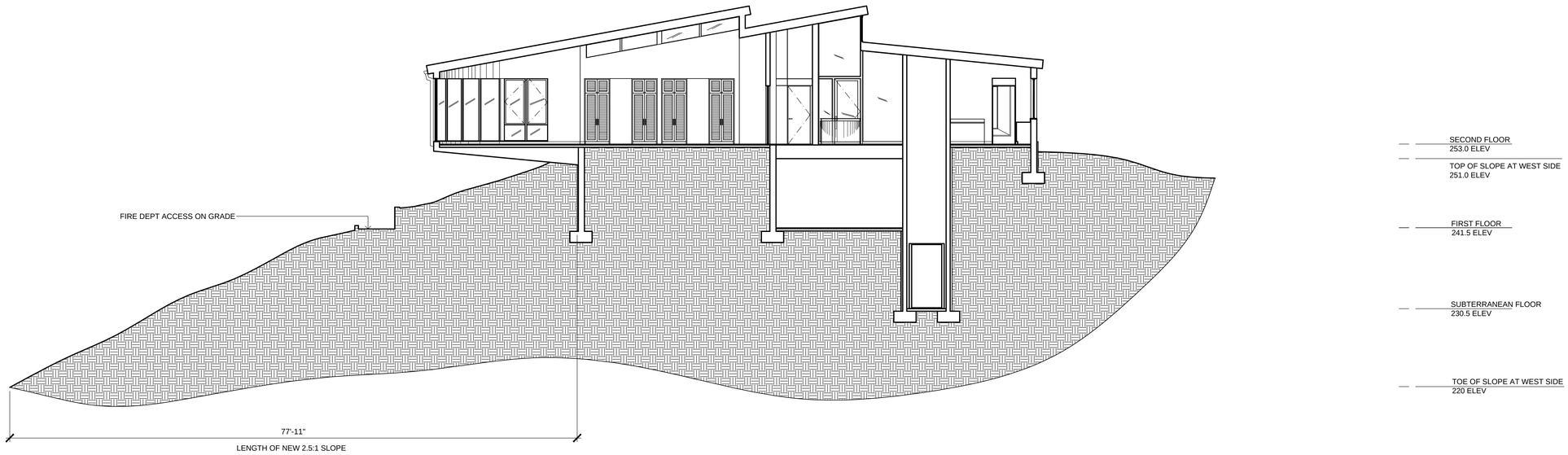
Job No.

A1.7CrossSectRefA4.3PlanningGradingCompar
ProposedVSExistCD\NewMainHouseHeideggerF
Cad File Name

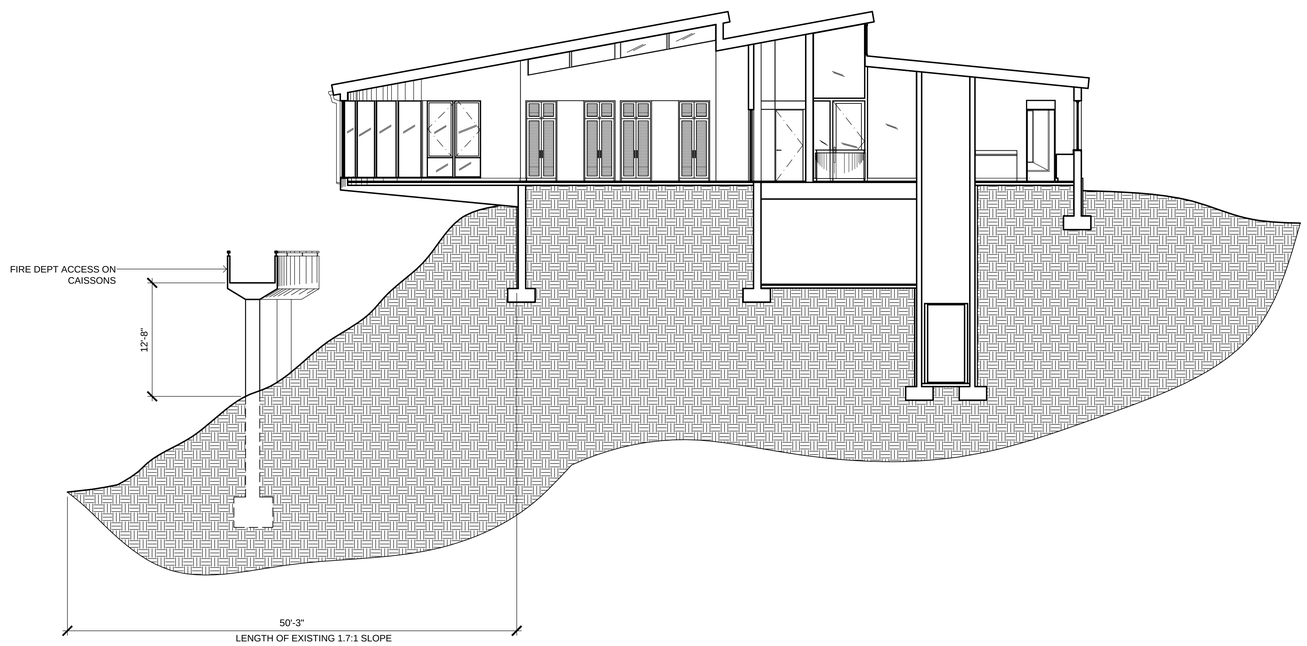
Issued For	*Date*
Final Planning Review	9.10.19
Planning Review	
West Slope Grading	11.15.16
Planning Review Submittal	05.17.16
PrePlanning Review	10.07.14

1/8" = 1'-0"
Scale

A1.7
Sheet No.



FIRE DEPARTMENT ACCESS WITH PROPOSED GRADED SLOPE



FIRE DEPARTMENT ACCESS WITH EXISTING SLOPE

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New Main House

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Malibu, CA 90265

Job Name / Address

Cross Section Ref A4.4:
Planning Grading
Comparison West Side
Proposed vs Existing

Sheet Title

Job No.

A1.8CrossSectRefA4.4PlanningGradingCompar
ProposedVSExistCDNewMainHouseHeideggerR
Cad File Name

Final Planning Review	9.10.19
Planning Review	
West Slope Grading	11.15.16
Planning Review Submittal	05.17.16
PrePlanning Review	10.07.14
Issued For	*Date*

1/8" = 1'-0"
Scale

A1.8
Sheet No.

LEGEND

A. NEW MAIN HOUSE
B. EXISTING GUEST HOUSE
C. NEW PATIO
D. NEW SWIMMING POND
E. NEW FLOATING DECK W/ TRELLIS
F. EXISTING TENNIS COURT
G. NEW FIRE DEPT. ACCESS
H. NEW FIRE DEPT. TURN AROUND
I. EXISTING FIRE DEPT. ACCESS

NOTES

1. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION

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No. / Revisions	*Date*

New Main House

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Malibu, CA 90265

Job Name / Address

PARTIAL SITE PLAN

Sheet Title

A2.1SitePlanNewMainHouse33603PCHCD.dv

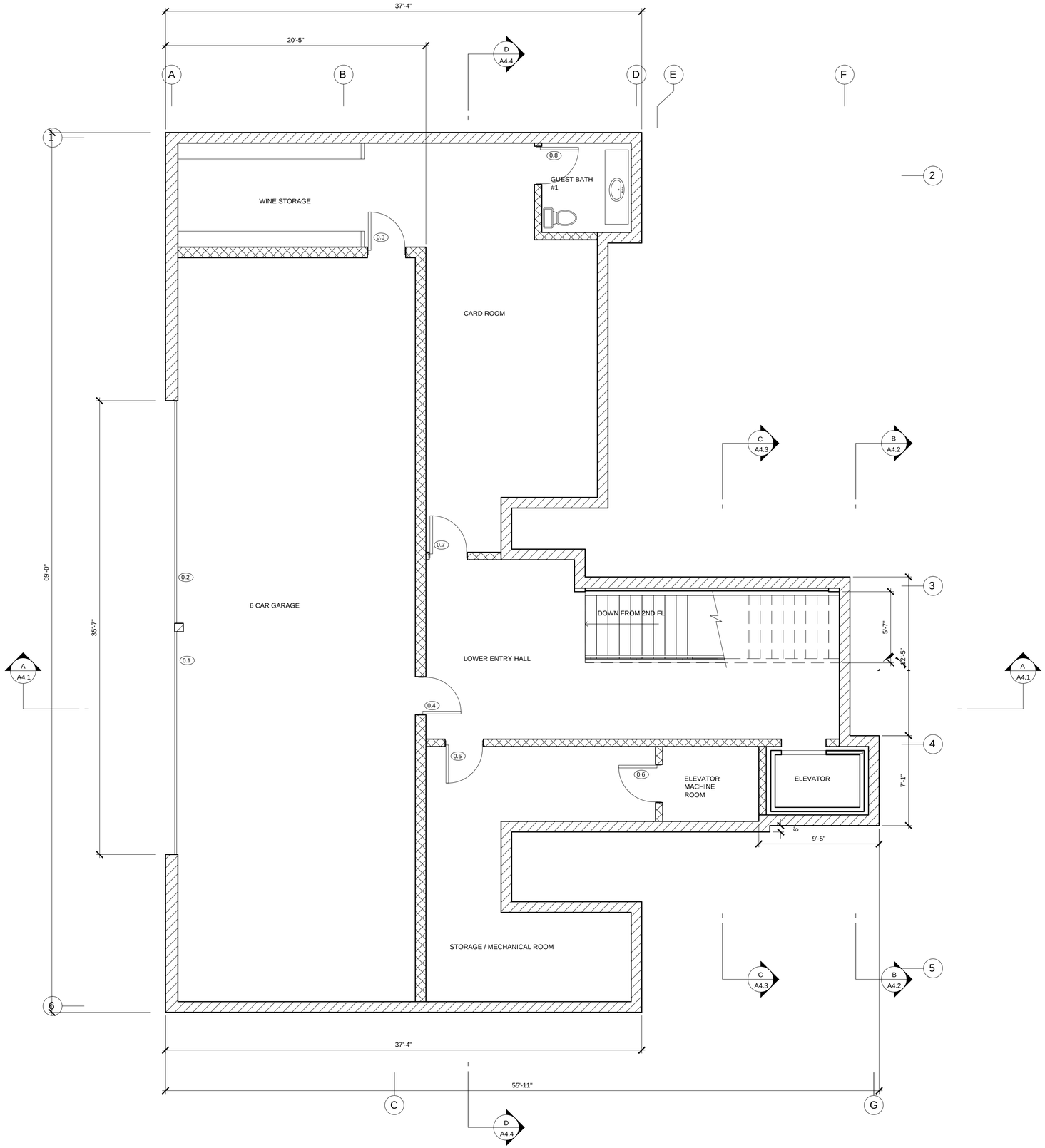
Job No.

Cad File Name

Issued For	*Date*
Final Planning Phase Review	9.10.19
Planning Review	
West Slope Grading	11.15.16
Planning Review Submittal	05.17.16
PrePlanning Review	10.07.14

1/16" = 1'-0"
Scale

A2.1
Sheet No.



KEYNOTES

BUILDING INFORMATION

SUBTERRANEAN / GARAGE
GROSS: 2,743.5 SQ. FT.
NET: 871.8 SQ. FT. W/ SUBTERRANEAN CREDITS OF 1,871.8 SQ. FT. (FIRST 1,000 + 50% OF REMAINING = 871.8)

LEGEND

NEW FULL HEIGHT EXTERIOR WALLS

NEW FULL HEIGHT INTERIOR WALLS

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NEW MAIN RESIDEN(

Palms Of Malibu
33603 Pacific Coast Highway
Malibu, CA
Job Name / Address

SUBTERRANEAN FLOOR PLAN

Sheet Title

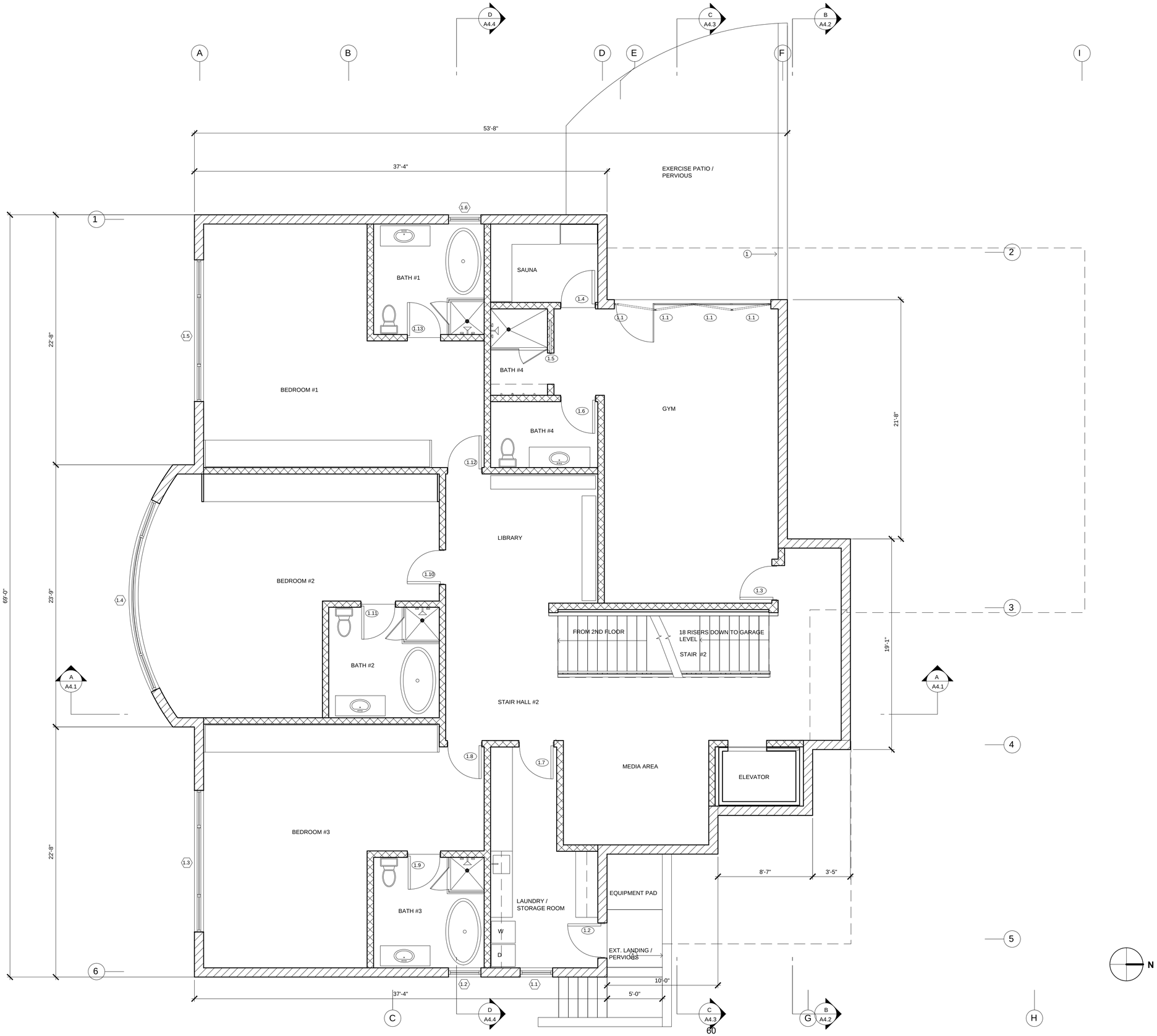
A3.1NewMainHouseCDSubterraneanFloorPl.d
Job No.

Cad File Name

Final Planning Submittal	09.10.19
Ext.Door/Window Prelim. Pricing	08.29.16
Planning Submittal	05.17.16
Issued For	*Date*

1/4" = 1'-0"
Scale

A3.1
Sheet No.



KEYNOTES

1. LOW WALL. SEE CIVIL DRAWING

BUILDING INFORMATION

FIRST FLOOR
GROSS: 3,455 SQ. FT.
NOT INCLUDING STAIR (103.6 SQ. FT.)
AND ELEVATOR (42 SQ.FT.)

LEGEND

NEW FULL HEIGHT EXTERIOR WALLS

NEW FULL HEIGHT INTERIOR WALLS

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NEW MAIN RESIDEN(

Palms Of Malibu
33603 Pacific Coast Highway
Malibu, CA
Job Name / Address

FIRST FLOOR PLAN

Sheet Title

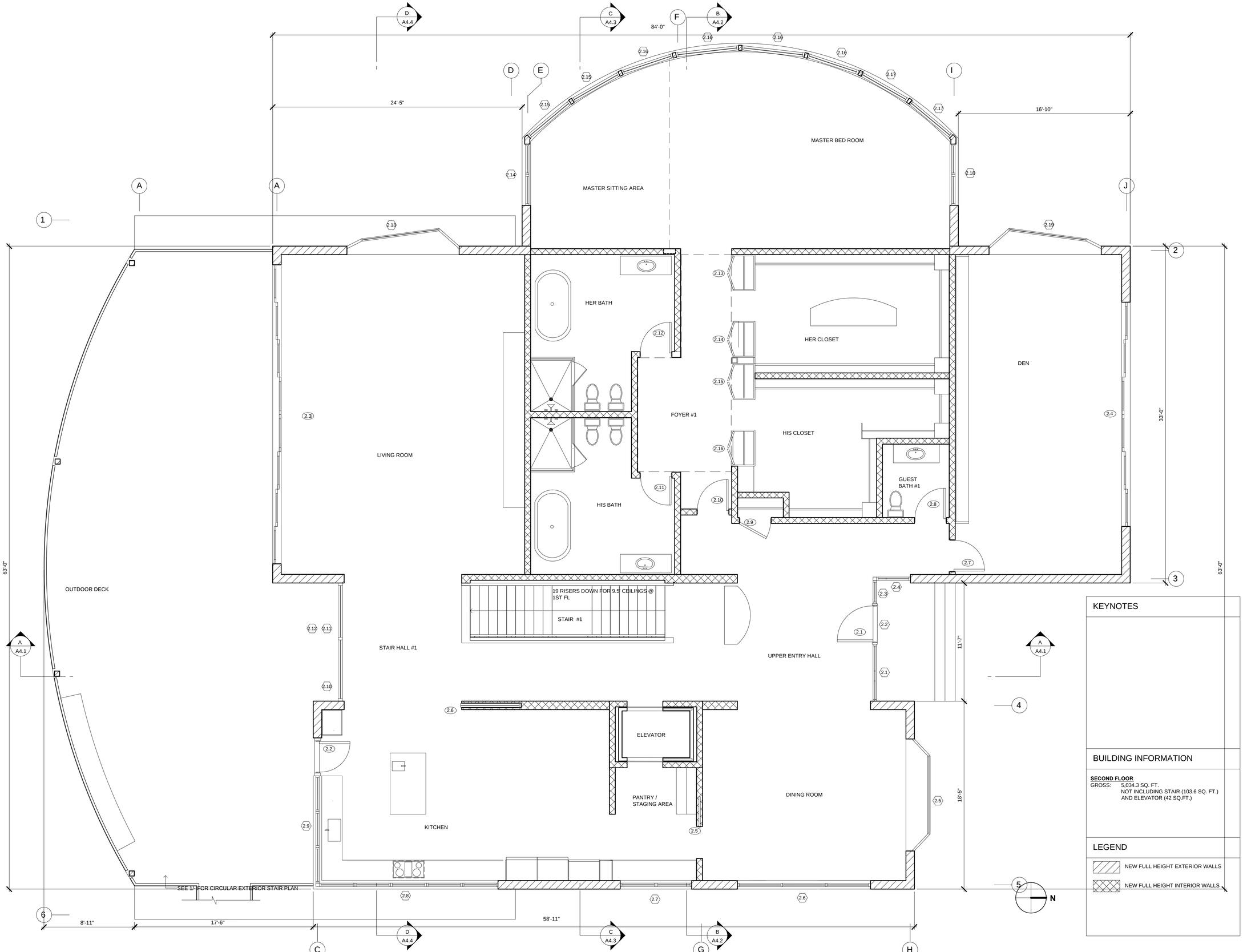
Job No.

A3.2NewMainHouseCDFirstFloorPl.dwg
Cad File Name

Final Planning Submittal	09.10.19
Ext.Door/Window Prelim. Pricing	08.29.16
Planning Submittal	05.17.16
Issued For	*Date*

1/4" = 1'-0"
Scale

A3.2
Sheet No.



KEYNOTES

BUILDING INFORMATION

SECOND FLOOR
GROSS: 5,034.3 SQ. FT.
NOT INCLUDING STAIR (103.6 SQ. FT.)
AND ELEVATOR (42 SQ.FT.)

LEGEND

NEW FULL HEIGHT EXTERIOR WALLS

NEW FULL HEIGHT INTERIOR WALLS

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NEW MAIN RESIDEN(

Palms Of Malibu
33603 Pacific Coast Highway
Malibu, CA
Job Name / Address

SECOND FLOOR PLAN

Sheet Title

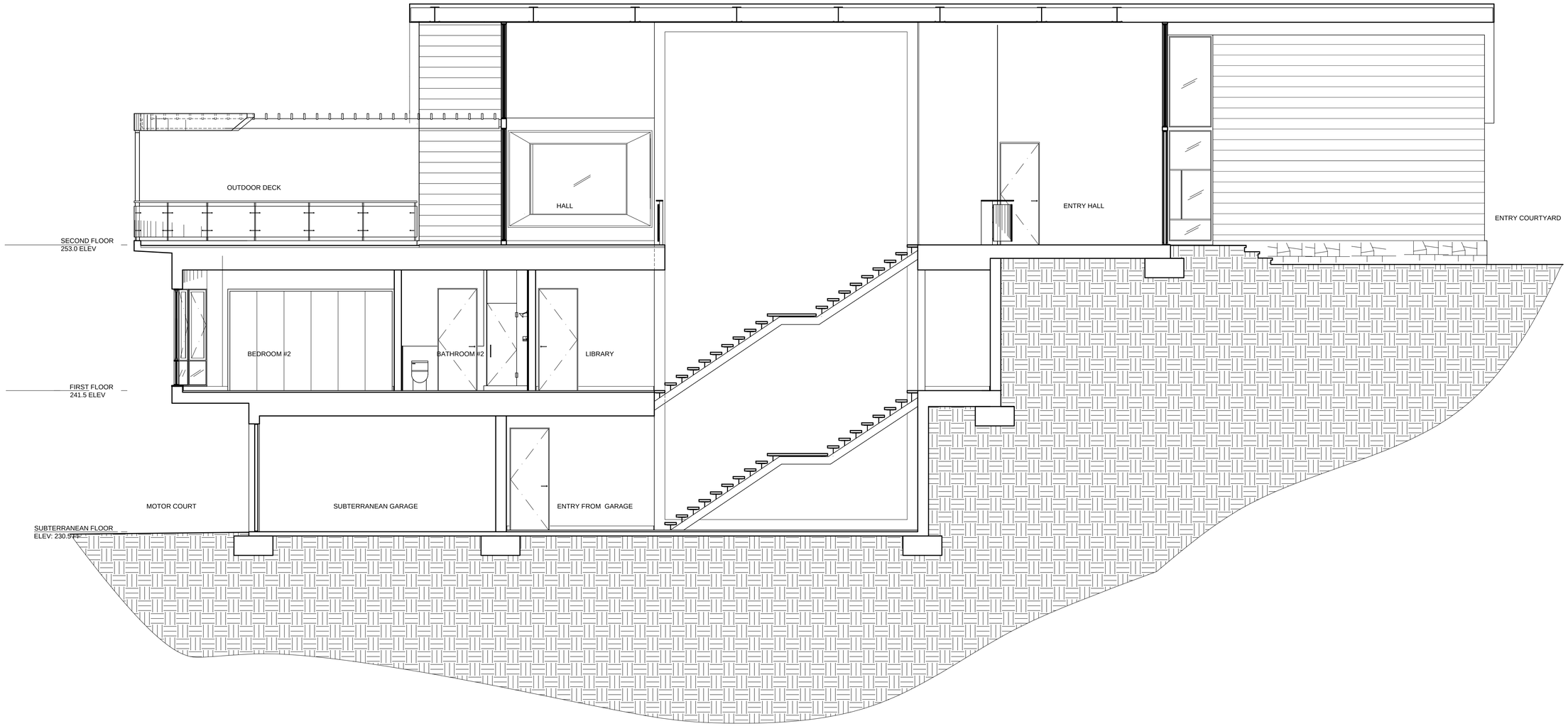
Job No.

A3.3NewMainHouseCDSecondFloorPl.dwg
Cad File Name

Issued For	*Date*
Final Planning Submittal	09.10.19
Ext.Door/Window Prelim. Pricing	08.29.16
Planning Submittal	05.17.16

1/4" = 1'-0"
Scale

A3.3
Sheet No.



A. LONGITUDINAL SECTION

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No. / Revisions	*Date*

NEW MAIN RESIDEN(

Palms Of Malibu
33603 Pacific Coast Highway
Malibu, CA
Job Name / Address

LONGITUDINAL BUILDING
SECTION A

Sheet Title

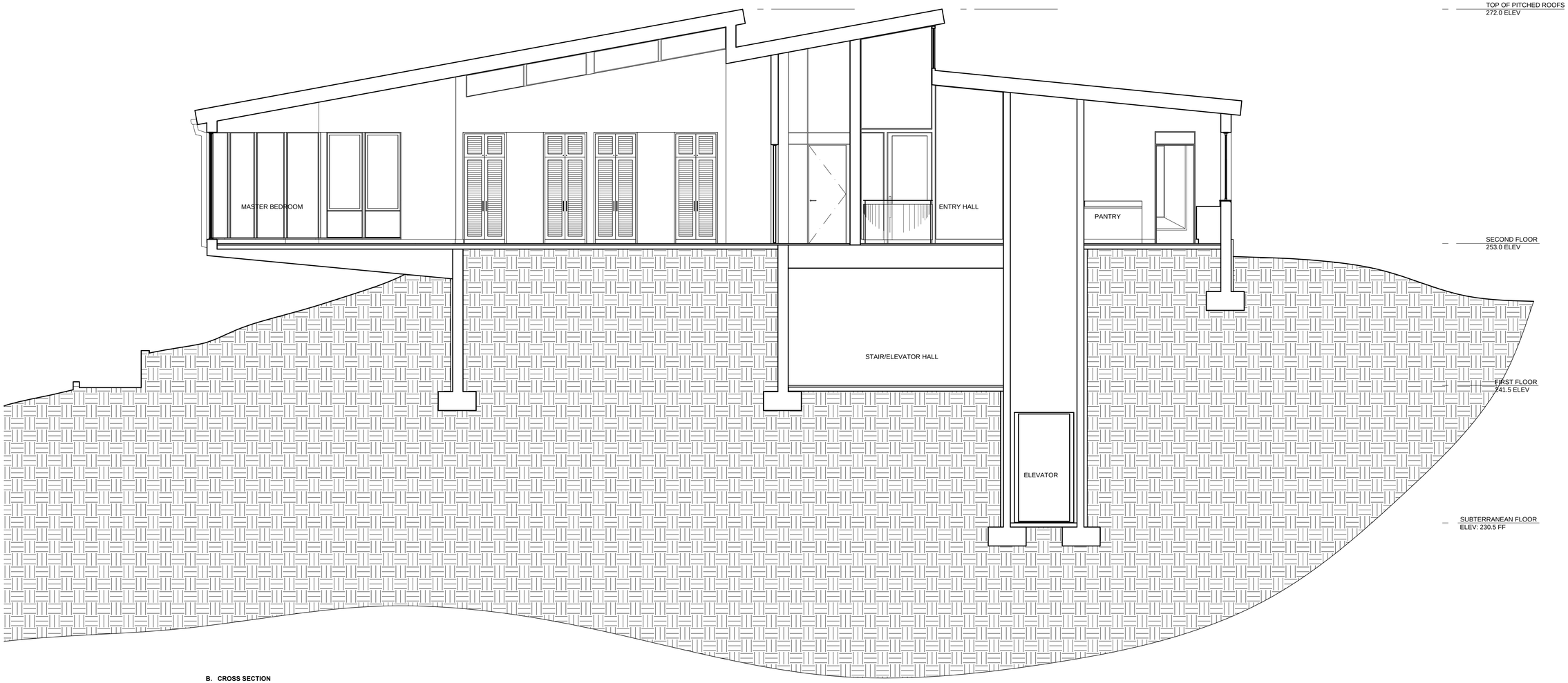
Job No.

A4.1LongitudinalBuildingSectionNewMainHous
Cad File Name

Issued For	*Date*
Final Planning Submittal	09.10.19
Ext.Door/Window Prelim. Pricing	08.29.16
Planning Submittal	05.17.16

1/4" = 1'-0"
Scale

A4.1
Sheet No.



B. CROSS SECTION

COFFMANDESIGN
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NEW MAIN RESIDEN(

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Malibu, CA
Job Name / Address

CROSS BUILDING
SECTION B

Sheet Title

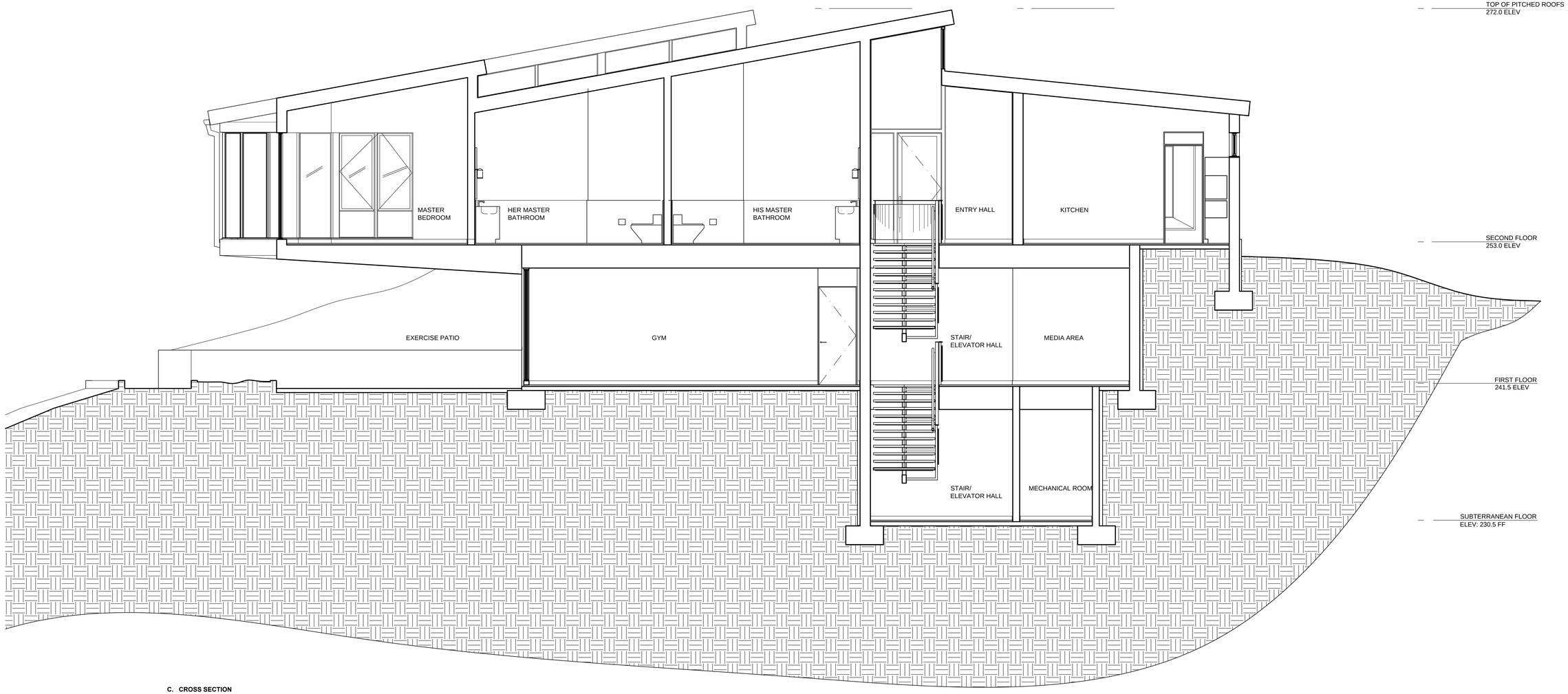
Job No.

A4.2CrossBuildingSectionNewMainHouseCD.c
Cad File Name

Final Planning Submittal	09.10.19
Ext.Door/Window Prelim. Pricing	08.29.16
Planning Submittal	05.17.16
Issued For	*Date*

1/4" = 1'-0"
Scale

A4.2
Sheet No.



C. CROSS SECTION

COFFMANDESIGN
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No. / Revisions *Date*

NEW MAIN RESIDEN(

Palms Of Malibu
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Malibu, CA
Job Name / Address

CROSS BUILDING
SECTION C

Sheet Title

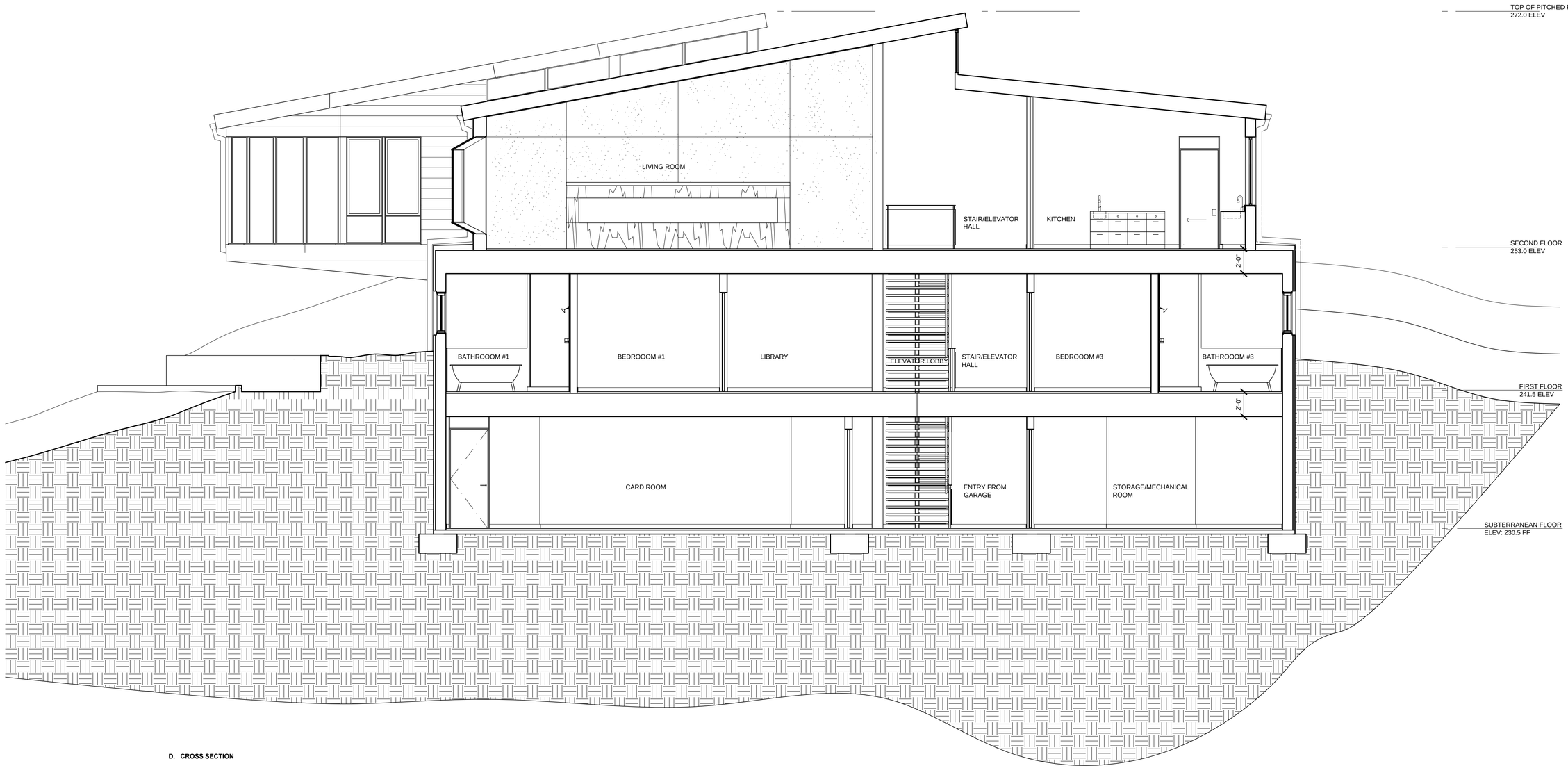
Job No.

A4.3CrossBuildingSectionNewMainHouseCD.c
Cad File Name

Final Planning Submittal	09.10.19
Ext.Door/Window Prelim. Pricing	08.29.16
Planning Submittal	05.17.16
Issued For	*Date*

1/4" = 1'-0"
Scale

A4.3
Sheet No.



D. CROSS SECTION

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NEW MAIN RESIDEN(

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Malibu, CA
Job Name / Address

CROSS BUILDING
SECTION D

Sheet Title

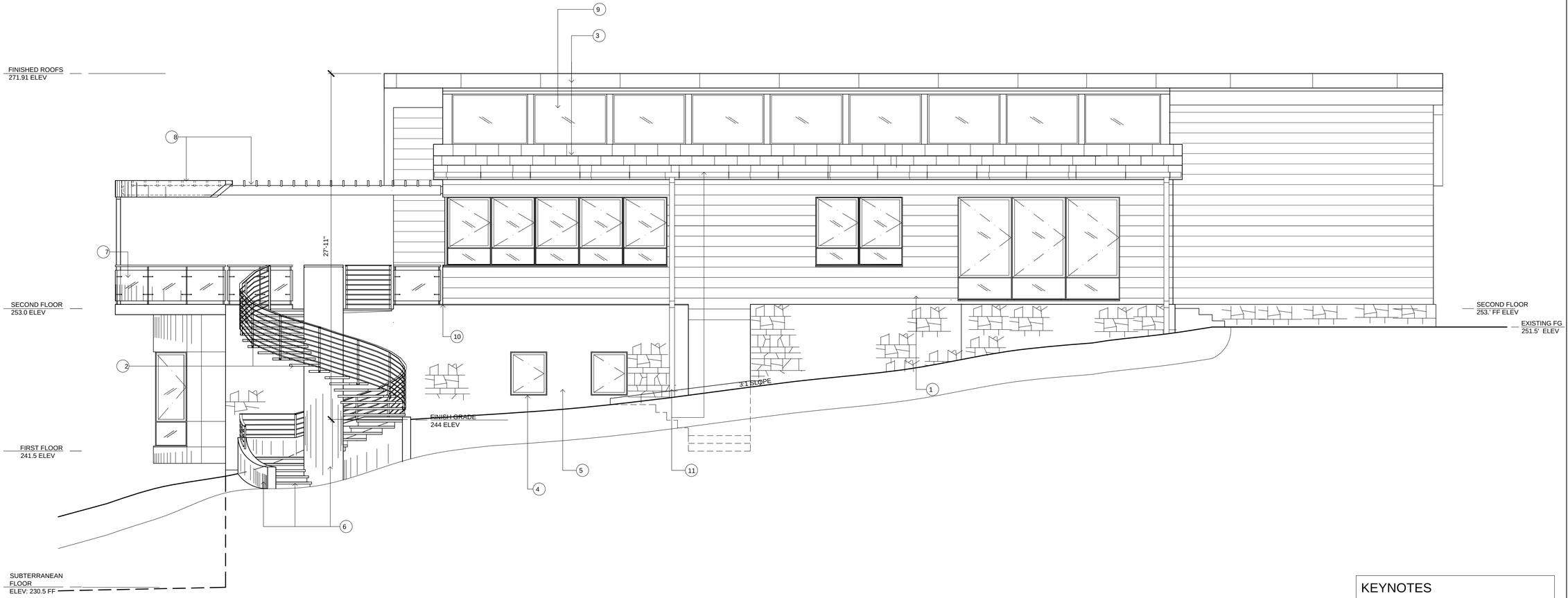
Job No.

A4.4CrossBuildingSectionNewMainHouseCD.c
Cad File Name

Final Planning Submittal	09.10.19
Ext.Door/Window Prelim. Pricing	08.29.16
Planning Submittal	05.17.16
Issued For	*Date*

1/4" = 1'-0"
Scale

A4.4
Sheet No.



EAST BUILDING ELEVATION

KEYNOTES

1. WOOD SIDING
2. STEEL TREADS, GUARDRAIL AND HANDRAIL
3. METAL ROOF AND FASCIA
4. BRONZE WINDOW FRAMES
5. STONE CLADDING
6. POURED IN PLACE CONCRETE LOW WALLS AND STAIRS
7. CLEAR GLASS AND STEEL SUPPORTS GUARDRAIL
8. STEEL AND WOOD TRELLIS
9. CLEAR GLASS CLERESTORY WINDOWS, FIXED
10. SECOND FLOOR STACKS OVER FIRST FLOOR
11. PAINTED METAL DOWNSPOUTS AND GUTTERS

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NEW MAIN RESIDEN(

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Malibu, CA
Job Name / Address

EAST ELEVATION

Sheet Title

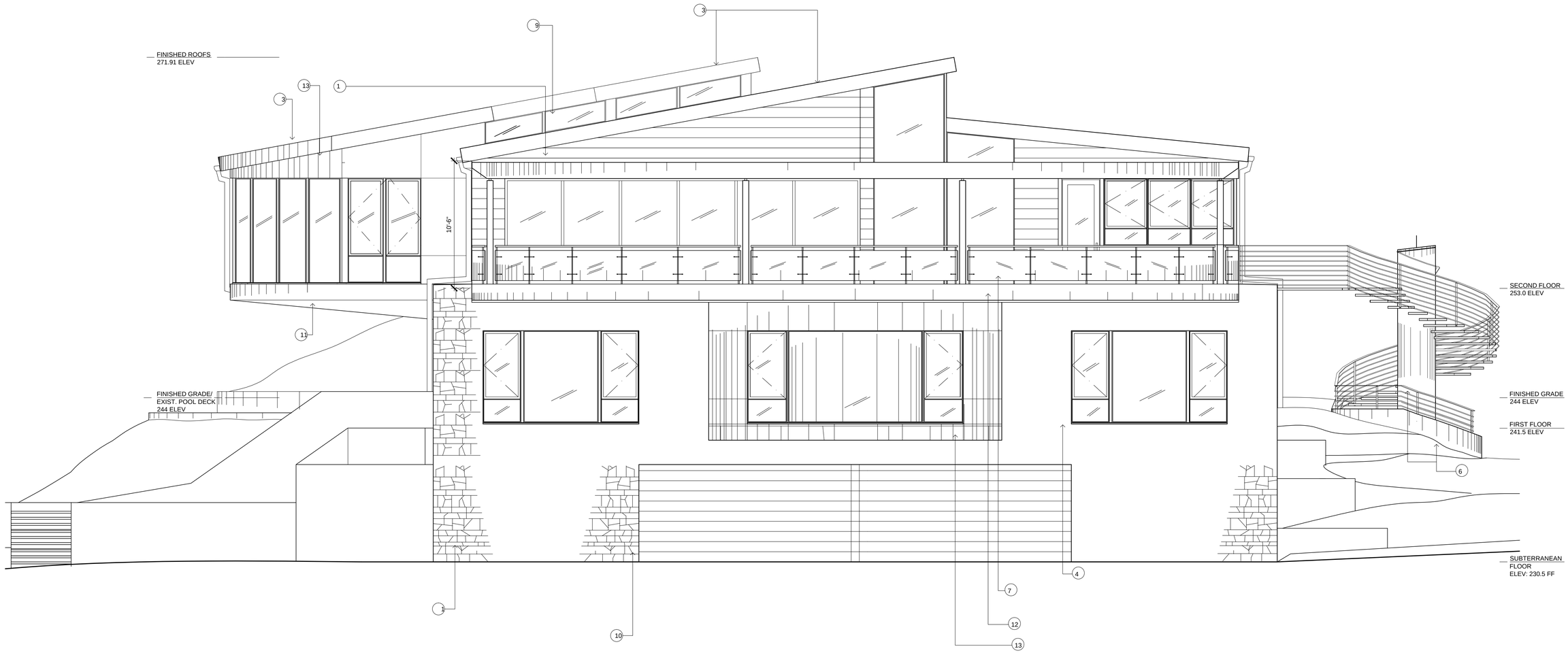
A5.1EastElevationNewMainHouseCD.dwg
Job No.

Cad File Name

Final Planning Submittal	09.10.19
Ext.Door/Window Prelim. Pricing	08.29.16
Planning Submittal	05.17.16
Issued For	*Date*

1/4" = 1'-0"
Scale

A5.1
Sheet No.



SOUTH BUILDING ELEVATION

KEYNOTES

1. WOOD SIDING
2. STEEL TREADS, GUARDRAIL AND HANDRAIL
3. METAL ROOF AND FASCIA
4. BRONZE WINDOW FRAMES
5. STONE CLADDING
6. POURED IN PLACE CONCRETE LOW WALLS AND STAIRS
7. CLEAR GLASS AND STEEL SUPPORTS GUARDRAIL
8. STEEL AND WOOD TRELLIS
9. CLEAR GLASS CLERESTORY WINDOWS, FIXED
10. WOOD SIDING ON GARAGE DOORS
11 FORMED CONCRETE
12. PAINTED STEEL CLAD DECK OVERHANG
13. PAINTED STEEL CLAD SIDING

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Consultants

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Owner

No. / Revisions *Date*

NEW MAIN RESIDEN(

Palms Of Malibu
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Malibu, CA
Job Name / Address

SOUTH ELEVATION

Sheet Title

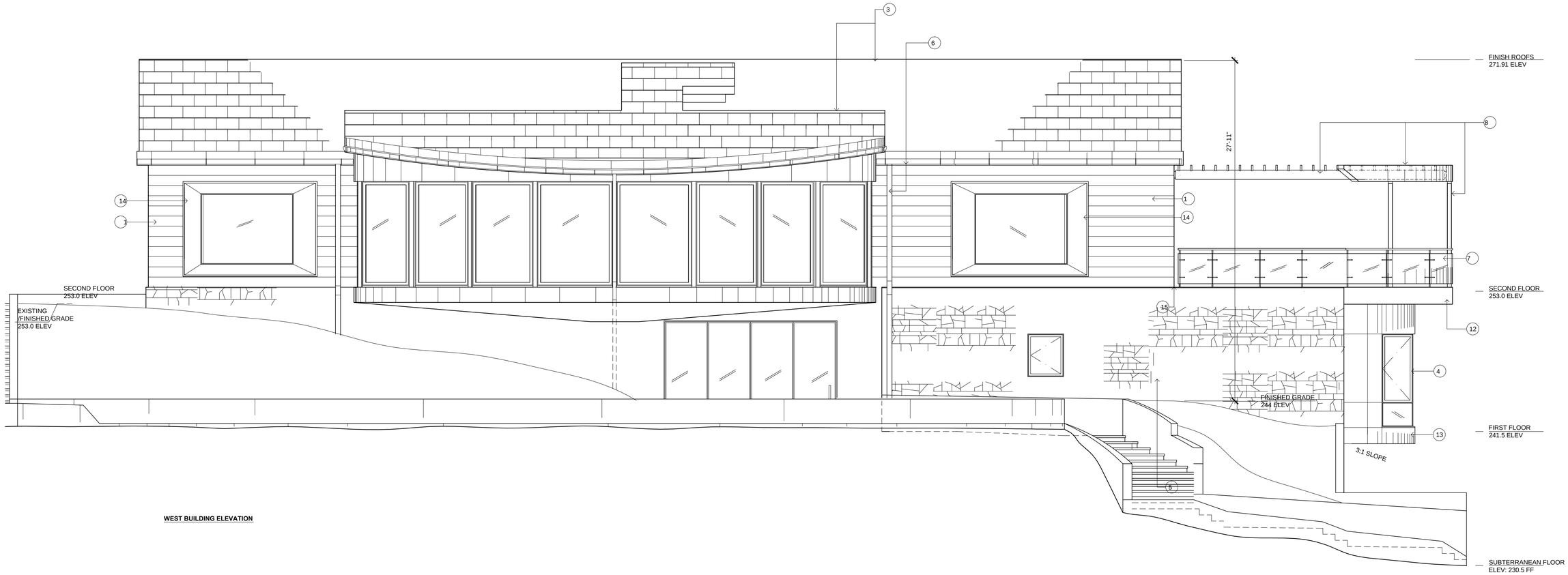
A5.2SouthElevationNewMainHouseCD.dwg
Job No.

Cad File Name

Final Planning Submittal	09.10.19
Ext.Door/Window Prelim. Pricing	08.29.16
Planning Submittal	05.17.16
Issued For	*Date*

1/4" = 1'-0"
Scale

A5.2
Sheet No.



WEST BUILDING ELEVATION

KEYNOTES

1. WOOD SIDING
2. STEEL TREADS, GUARDRAIL AND HANDRAIL
3. METAL ROOF AND FASCIA
4. BRONZE WINDOW FRAMES
5. STONE CLADDING
6. PAINTED METAL DOWNSPOUTS AND GUTTERS
7. CLEAR GLASS AND STEEL SUPPORTS GUARDRAIL
8. STEEL AND WOOD TRELLIS
9. CLEAR GLASS CLERESTORY WINDOWS, FIXED
10. WOOD SIDING ON GARAGE DOORS
11 FORMED CONCRETE
12. PAINTED STEEL CLAD DECK OVERHANG
13. PAINTED STEEL CLAD SIDING
14. BRONZE WINDOW SURROUND
15. SECOND FLOOR STACKS OVER FIRST FLOOR

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Owner

No. / Revisions *Date*

NEW MAIN RESIDEN(

Palms Of Malibu
33603 Pacific Coast Highway
Malibu, CA
Job Name / Address

WEST ELEVATION

Sheet Title

A5.3WestElevationNewMainHouseCD.dwg
Job No.

Cad File Name

Final Planning Submittal	09.10.19
Ext.Door/Window Prelim. Pricing	08.29.16
Planning Submittal	05.17.16
Issued For	*Date*

1/4" = 1'-0"
Scale

A5.3
Sheet No.

NORTH BUILDING ELEVATION

KEYNOTES

1. WOOD SIDING
2. STEEL TREADS, GUARDRAIL AND HANDRAIL
3. METAL ROOF AND FASCIA
4. BRONZE WINDOW FRAMES
5. STONE CLADDING
6. PAINTED METAL DOWNSPOUTS AND GUTTERS
7. CLEAR GLASS AND STEEL SUPPORTS GUARDRAIL
8. STEEL AND WOOD TRELLIS
9. CLEAR GLASS CLERESTORY WINDOWS, FIXED
10. WOOD SIDING ON GARAGE DOORS
11 FORMED CONCRETE
12. PAINTED STEEL CLAD DECK OVERHANG
13. PAINTED STEEL CLAD SIDING
14 BRONZE WINDOW SURROUND

COFFMANDESIGN
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Architect

Consultants

Klaus Heidegger
33603 Pacific Coast Highway
Malibu, CA 90265
Owner

No. / Revisions *Date*

NEW MAIN RESIDEN(

Palms Of Malibu
33603 Pacific Coast Highway
Malibu, CA
Job Name / Address

NORTH ELEVATION

Sheet Title

A5.4NorthElevationNewMainHouseCD.dwg
Job No.

Cad File Name

Final Planning Submittal	09.10.19
Ext.Door/Window Prelim. Pricing	08.29.16
Planning Submittal	05.17.16
Issued For	*Date*

1/4" = 1'-0"
Scale

A5.4
Sheet No.

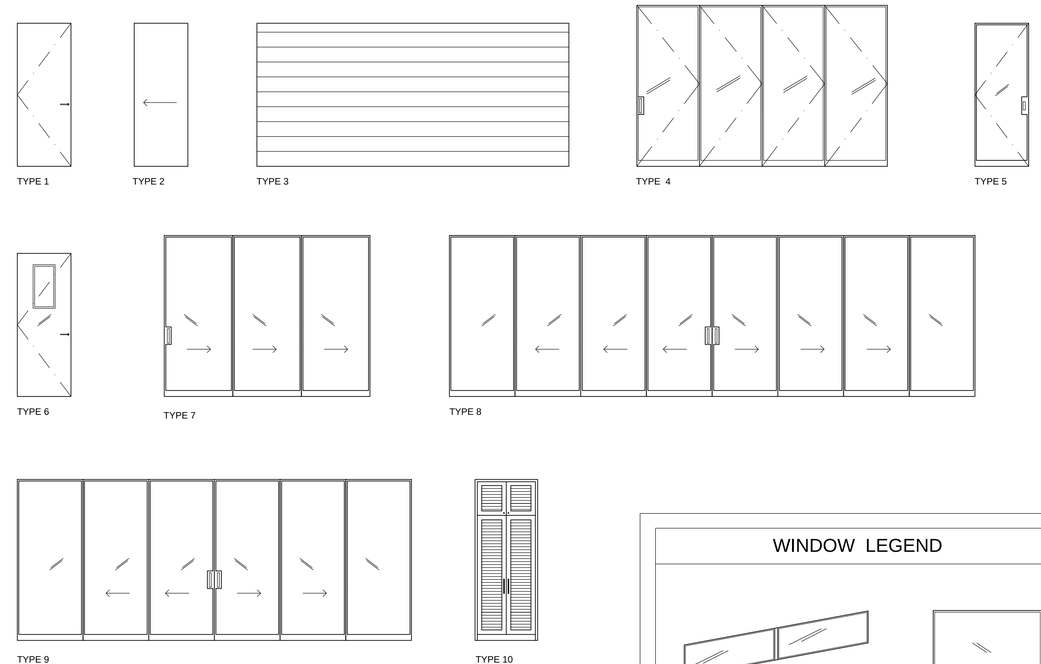
DOOR SCHEDULE

IDENTIFICATION			SIZE		FRAME				DOOR			ADDITIONAL INFORMATION			
NO.	TYPE	ROOM	W X H X D	HEAD / JAMB	THRESH	MATERIAL	EXT. FIN.	INT. FIN.	MAT.	EXT. FIN.	INT. FIN.	GLAZING	SCREEN	HDWR GROUP	REMARKS
0.1	3	GARAGE	17'-5" X 8'-0" X 2.5"												
0.2	3	GARAGE	17'-5" X 8'-0" X 2.5"												
0.3	1	GARAGE	3'-0" X 8'-0" X 1.75"												
0.4	1	GARAGE	3'-0" X 8'-0" X 1.75"												
0.5	1	LOWER ENTRY HALL	3'-0" X 8'-0" X 1.75"												
0.6	1	ELEVATOR MACHINE RM	3'-0" X 8'-0" X 1.75"												
0.7	1	LOWER ENTRY HALL	3'-0" X 8'-0" X 1.75"												
0.8	1	GUEST BATH #1	3'-0" X 8'-0" X 1.75"												
1.1	4	GYM	14'-0" X 9'-0" X 1.00"									CLEAR DUAL PANED TEMP			
1.2	5	LAUNDRY ROOM	3'-0" X 8'-0" X 1.00"									CLEAR DUAL PANED TEMP			
1.3	1	GYM	3'-0" X 8'-0" X 1.00"									CLEAR DUAL PANED TEMP			
1.4	6	SAUNA	3'-0" X 8'-0" X 1.75"									CLEAR DUAL PANED TEMP			SPECIAL DOOR BY SAUNA VENDOR
1.5	2	BATH #4	3'-0" X 8'-0" X 1.00"												
1.6	1	BATH #4	3'-0" X 8'-0" X 1.00"												
1.7	1	LAUNDRY ROOM	3'-0" X 8'-0" X 1.75"												
1.8	1	BEDROOM #3	3'-0" X 8'-0" X 1.75"												
1.9	1	BATHROOM #3	3'-0" X 8'-0" X 1.75"												
1.10	1	BEDROOM #2	3'-0" X 8'-0" X 1.75"												
1.11	1	BEDROOM #2	3'-0" X 8'-0" X 1.75"												
1.12	1	BEDROOM #1	3'-0" X 8'-0" X 1.75"												
1.13	1	BEDROOOM #1	3'-0" X 8'-0" X 1.75"												
2.1	5	ENTRY	3'-6" X 9'-0" X 1.00"									ART GLASS TBD			TEMPERED GLASS
2.2	5	KITCHEN	3'-0" X 9'-0" X 1.00"									CLEAR DUAL PANED TEMP			SLIDING SCREEN DOORS FOR TWO CENTER DOORS ONLY. DOORS SLIDE TO REST AT EA. FIXED DOOR
2.3	8	LIVING ROOM	29'-4" X 9'-0" X 1.00"									CLEAR DUAL PANED TEMP	●		SLIDING SCREEN DOORS FOR TWO CENTER DOORS ONLY. DOORS SLIDE TO REST AT EA. FIXED DOOR
2.4	9	DEN	22'-0" X 9'-0" X 1.00"									CLEAR DUAL PANED TEMP	●		
2.5	1	PANTRY	3'-0" X 9'-0" X 1.00"												
2.6	7	KITCHEN	11'-6" X 9'-0" X 1.00"									CLEAR DUAL PANED TEMP			
2.7	1	ENTRY HALL	3'-0" X 9'-0" X 1.00"												
2.8	1	ENTRY HALL	3'-0" X 8'-0" X 1.75"												
2.9	1	ENTRY HALL	3'-0" X 8'-0" X 1.75"												
2.10	1	ENTRY HALL	3'-0" X 9'-0" X 1.75"												
2.11	1	ENTRY HALL	3'-0" X 8'-0" X 1.75"												
2.12	1	ENTRY HALL	3'-0" X 8'-0" X 1.75"												
2.13	10	FOYER #1	2'-9" X 9'-0" X 1.75"												
2.14	10	FOYER #1	2'-9" X 9'-0" X 1.75"												
2.15	10	FOYER #1	2'-9" X 9'-0" X 1.75"												
2.16	10	FOYER #1	2'-9" X 9'-0" X 1.75"												

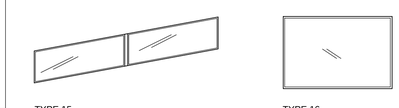
WINDOW SCHEDULE

IDENTIFICATION			SIZE			FRAME			WINDOW			ADDITIONAL INFORMATION			
NO.	TYPE	ROOM	W X H X D	HEAD / JAMB	SILL	MATERIAL	EXT. FIN.	INT. FIN.	MAT.	EXT. FIN.	INT. FIN.	GLAZING	ROLLER SCREEN	HDWR GROUP	REMARKS
1.1	13	LAUNDRY / STORAGE RM	3'-0" X 3'-6" X 1.00"									CLEAR DUAL PANED,TEMP	●		
1.2	13	BATH #3	3'-0" X 3'-6" X 1.00"									CLEAR DUAL PANED,TEMP	●		
1.3	1	BEDROOM #3	12'-10" X 7'-8" X 1.00"									CLEAR DUAL PANED,TEMP	●		
1.4	2	BEDROOM #2	+/-18'-0" X 8'-0" X 1.75"									CLEAR DUAL PANED,TEMP	●		
1.5	1	BEDROOM #1	12'-10" X 7'-8" X 1.00"									CLEAR DUAL PANED,TEMP	●		
1.6	13	BATH #1	3'-0" X 3'-6" X 1.00"									CLEAR DUAL PANED,TEMP	●		
2.1	6	ENTRY	5'-6" X 12'-10" X 1.00"									ART GLASS TBD			TEMPERED GLASS
2.2	6	ENTRY	5'-9" X 8'-3" X 1.00"									ART GLASS TBD			TEMPERED GLASS
2.3	6	ENTRY	1'-11" X 9'-1" X 1.00"									ART GLASS TBD			TEMPERED GLASS
2.4	7	ENTRY	3'-7" X 16'-6.5" X 1.00"									ART GLASS TBD			TEMPERED GLASS
2.5	3	DINING ROOM	7'-8" X 5'-91/2" X 1.00"												
2.6	9	DINING ROOM	13'-0" X 8'-4" X 1.00"										●		
2.7	10	KITCHEN	7'-0" X 5'-6" X 1.00"										●		
2.8	11	KITCHEN	17'-9" X 5'-6" X 1.75"										●		
2.9	12	KITCHEN	10'-8" X 5'-6" X 1.75"										●		
2.10	14	STAIR HALL #1	6'-0" X 9'-0" X 1.75"												
2.11	14	STAIR HALL #1	6'-0" X 8'-4" X 1.75"												
2.12	14	STAIR HALL #1	5'-7" X 12'-9" X 1.75"												
2.13	3	LIVING ROOM	7'-8" X 5'-9 1/2" X 1.00"												
2.14	4	MASTER BEDROOM	6'-0" X 8'-8" X 1.75"										●		
2.15	5	MASTER BEDROOM	12'-3" X 8'-8" X 1.75"												
2.16	8	MASTER BEDROOM	25'-4" X 8'-8" X 1.75"												
2.17	5	MASTER BEDROOM	12'-3" X 8'-8" X 1.75"												
2.18	4	MASTER BEDROOM	6'-0" X 8'-7" X 1.75"										●		
2.19	3	DEN	7'-8" X 5'-9 1/2" X 1.00"												
2.20	16	STAIR HALL #1	6'-1" X 4'-0" X 1.00"									CLEAR DUAL PANED,TEMP			CLERESTORY FIXED WINDOWS SEE A2.1
2.21															
2.22															
2.23															
2.24															
2.25															
2.26															
2.27															
2.28															
2.29	15	FOYER #1	10'-6" X 1'-10" X 1.00"									CLEAR DUAL PANED,TEMP			
2.30															
2.31															
2.32															

DOOR LEGEND



WINDOW LEGEND



WINDOW LEGEND

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Owner

No. / Revisions	*Date*

NEW MAIN RESIDENC

Palms Of Malibu
33603 Pacific Coast Highway
Malibu, CA
Job Name / Address

DOOR SCHEDULE
WINDOW SCHEDULE

Sheet Title

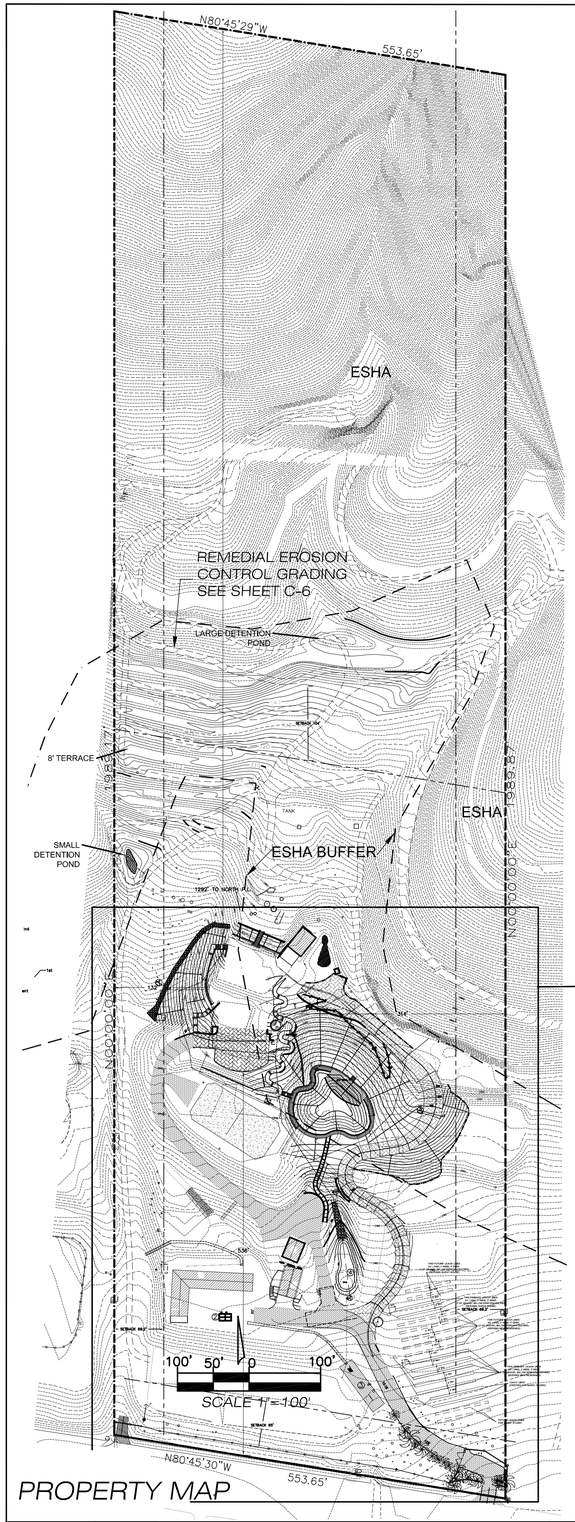
Job No.

A6.1DoorWindowScheduleNewMainHouseCD
Cad File Name

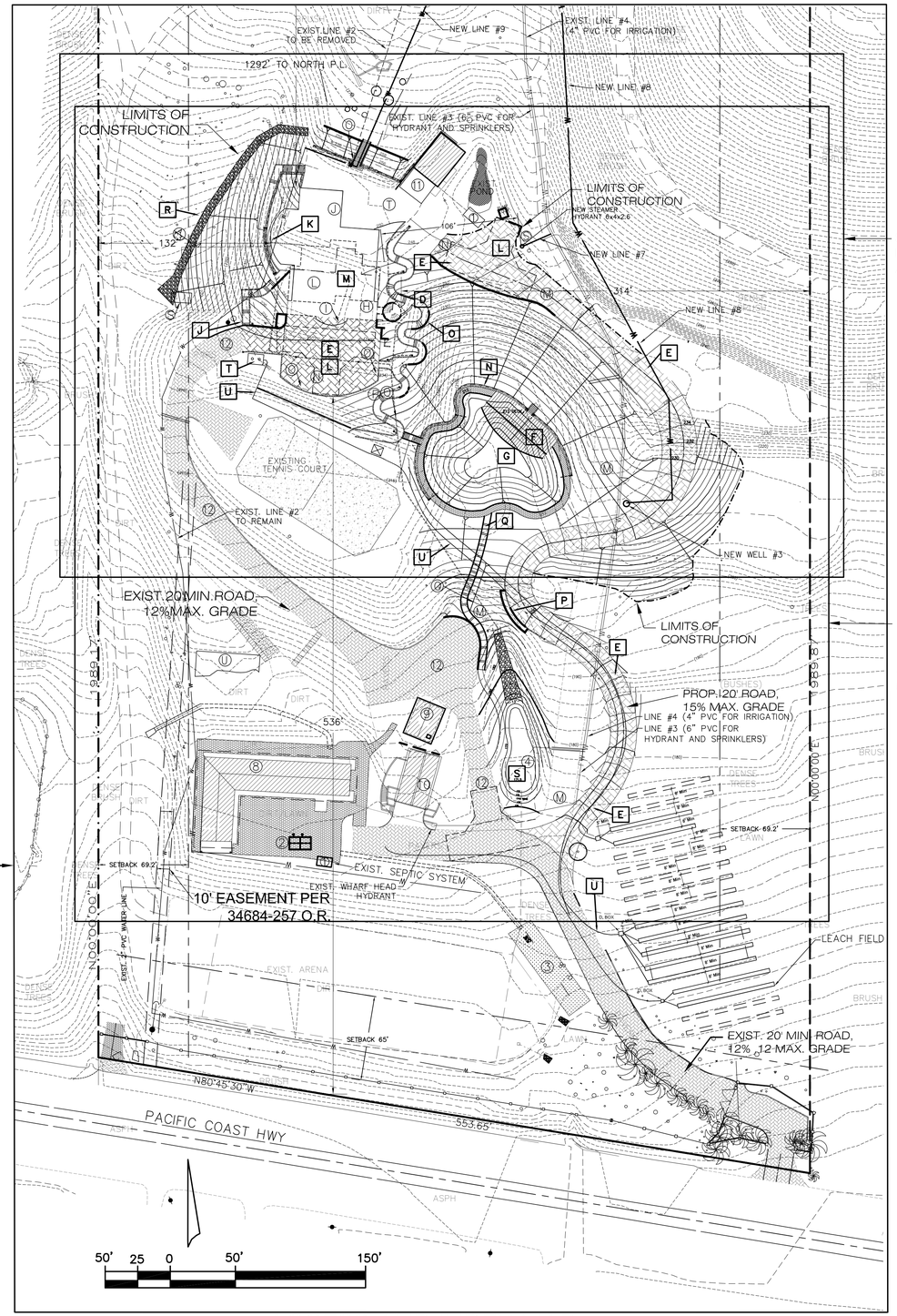
Final Planning Submittal	09.10.19
Ext.Door/Window Prelim. Pricing	08.29.16
Planning Submittal	05.17.16
Issued For	*Date*

1/4" = 1'-0"
Scale

A6.1
Sheet No.



PROPERTY MAP

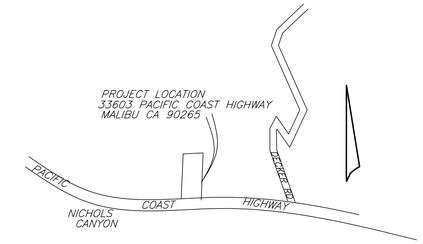


ACCESS AND INDEX MAP
SCALE 1"=50'

SEE SHEET C4 FOR LARGE POND AND RESIDENCE PLAN

SEE SHEET C-3 FOR DRIVEWAY PLAN

SEE SHEET C2 FOR DEMOLITION PLAN



LOCATION MAP

KEY NOTES

- A NEW 5' WIDE PERVIOUS WALKWAY AND TERRACE DRAIN
- B SEE SHEET C-3
- C SEE SHEET C-3
- D NEW PERVIOUS SURFACED WALKWAY-SEE SHEET C2
- E NEW PERVIOUS PAVEMENT DRIVEWAY, STRUCTURAL SECTION PER SOILS ENGINEER
- F NEW DECK TO BE CONSTRUCTED ABOVE FINISHED GRADE PER ARCHITECTURAL PLANS
- G NEW LARGE POND
- H NEW RAMP SEE SHEET C3
- I NEW 4" PVC DRAIN THROUGH BASE OF WALL
- J NEW CONSTRUCT 8" RETAINING WALL (TYP.)
- K TRELLIS PATIO PER ARCHITECTURAL PLANS
- L NEW FIRE DEPARTMENT TURN AROUND
- M PROPOSED RESIDENCE
- N NEW V-DITCH 12'" WIDE 6" DEEP; PROVIDE 2% MIN FALL TO INLETS
- O NEW 8" MASONRY WALL VARYING FROM 6" TO 4.5' HIGH
- P NEW 8" MASONRY WALL ALONG EDGE OF ROAD WITH 6" HIGH CURB ABOVE ROAD
- Q NEW PERVIOUS STEP 6" RISE AND 12" RUN TYP.
- R NEW 6" TO 12" UNGROUTED RIP RAP ALONG TOE OF FILL SLOPE
- S SMALL POND UNDER SEPARATE PERMIT
- T NEW SEPTIC TANK
- U NEW SEWER LINE TO LEACH FIELD

○ TO BE REMOVED

ITEM	DESCRIPTION
H	GARAGE*
I	COVERED PORCH*
J	MAIN HOUSE
L	POOL
M	ROAD W/ PAVERS
N	ASPHALT PARKING
O	RETAINING WALL
P	CONC.PAD
R	STAIRS
S	5'Ø SEEPAGE PIT
T	SEPTIC TANK
U	COVERED STALLS*

* DAMAGED IN FIRE

○ LEGEND

ITEM	DESCRIPTION
1	EXISTING 1500 GALLON SEPTIC TANK
2	EXISTING "STORMCHAMBER" TANK
3	EXISTING 20'x70' GRASS SWALE FOR BARN AND STUDIO
4	BMP POND FOR MAIN HOUSE
8	EXISTING HORSE BARN
9	EXISTING HAY BARN
10	EXISTING STUDIO BUILDING
11	EXISTING GUEST HOUSE
12	EXISTING ROAD W/ PAVERS

SHEET INDEX

C1 OVERVIEW PLAN
C2 DEMOLITION PLAN; ENLARGED RAMP AREA
C3 POND AREA & NEW DRIVE OVERVIEW
C4 PROPOSED RESIDENCE AND POND
C5 NEW DRIVEWAY PROFILES
C6 TERRACES AND DETENTION POND
C7 PROPERTY DRAINAGE OVERVIEW
C8 FIRE DEPARTMENT REQUIREMENTS

POST DEVELOPMENT AREA CALCULATION

IMPERMEABLE SURFACE CALCULATION

PROPOSED HOUSE	= 6,243.9 S.F.
LAKE DECK	= 360 S.F.
EXISTING STRUCTURES	= 24,997.4 S.F.
LESS ITEMS REMOVED	= -11,289.9 S.F.
TOTAL IMPERVIOUS	= 20,311.4 S.F.

PERMEABLE SURFACE CALCULATION

NEW PERVIOUS PAVEMENT	= 36,175 SQ. FT.
EXISTING PERVIOUS PAVEMENT	= 23,305 SQ. FT.

TOTAL NET AREA =1,087,391 SQ.FT. (24.96AC.) 100%

TOTAL DISTURBED AREA FOR THIS PERMIT: 2.4 ACRES

GRADING CERTIFICATE

TOTAL GRADING YARDAGE VERIFICATION CERTIFICATE

	EXEMPT			NON-EXEMPT(b)	REMEDIAL(c)	TOTAL
	R&R	UNDER STRUCTURE	SAFETY(a)			
CUT		1225	1813	135	2802	5975
FILL		244	3755	82	4719	8800
TOTAL		1469	5568	217	7521	14775
IMPORT	0	0	1942	0	1917	3859
EXPORT	0	981	0	53	0	1034

NOTES: (a) INCLUDES MAIN DRIVEWAY, WALKWAYS AND TERRACES
(b) NORTH PATIO
(c) LARGE POND AND WEST SLOPE

LEGEND

- 560 PROP. MAJOR CONTOURS
- PROP. MINOR CONTOURS
- (560) EXIST. MAJOR CONTOURS
- (562) EXIST. MINOR CONTOURS
- EG EDGE OF GUTTER
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FG FINISH GRADE
- FH FIRE HYDRANT
- FL FLOWLINE
- FS FINISH SURFACE
- HP HIGH POINT
- IE INVERT ELEVATION
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP OF WALL
- C/F CUT/FILL TRANSITION
- EXISTING MASONRY WALL
- EXISTING DIRT ROAD
- PROPOSED 8" MASONRY WALL
- PROPOSED 8" MASONRY WALL UNDER 3' HI
- ■ 12"x12" CATCH BASIN W/ 4" PVC TO MAIN DRAIN LINE OR LARGE POND

REGISTERED PROFESSIONAL ENGINEER DANY P. HOLMES NO. 24769 EXP. 12-31-19 STATE OF CALIFORNIA

THIS PLAN REPRESENTS THE PLAN OF 2-4-19 UPDATED 8-27-19 OVERVIEW PLAN 8-27-19

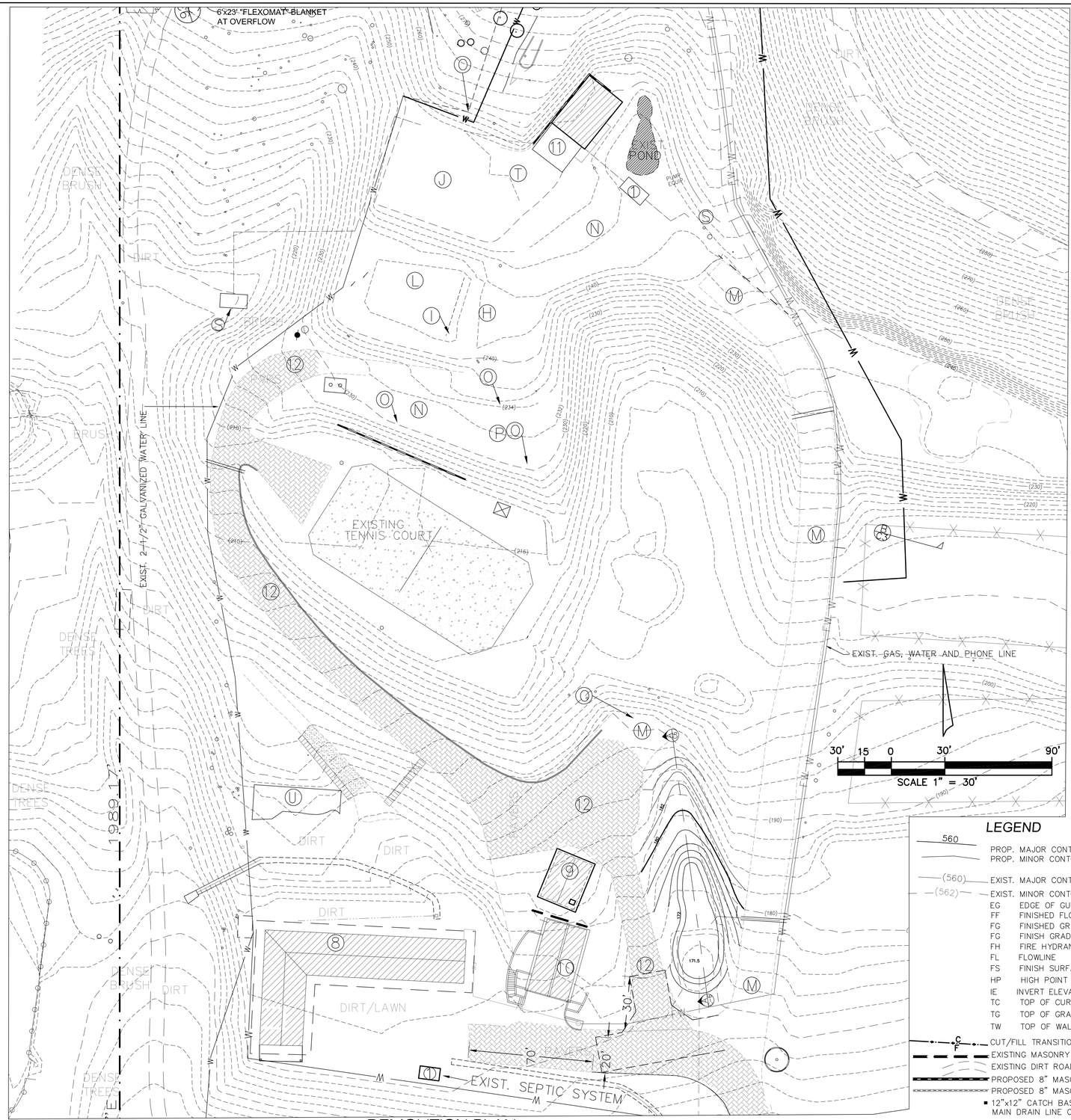
PREPARED BY: Holmes Enterprises, Inc.
Structural and Civil Engineering
200 Wicks Rd. Moorpark, CA. 93021
(805) 532-1571
EMAIL: sholmes932@prodigy.net

PROPERTY OWNER:
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

REVISION	BY	DATE

PROPOSED RESIDENCE W/ REVISED ACCESS AND POND
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY MALIBU, CA 90265

SHEET C1 OF 8



DEMOLITION PLAN SCALE: 1"=30'

TO REMAIN IN PLACE

ITEM	DESCRIPTION	AREA SQ.FT.
8	HORSE BARN	3,648
9	HAY BARN	452
10	STUDIO BUILD	1,146 (148+998)
11	GUEST HOUSE	24,417
12	ROAD W/ PAVERS	1,806

EXISTING SEPTIC ITEMS TO REMAIN

ITEM	DESCRIPTION
1	1500 GALLON SEPTIC TANK

TO BE REMOVED

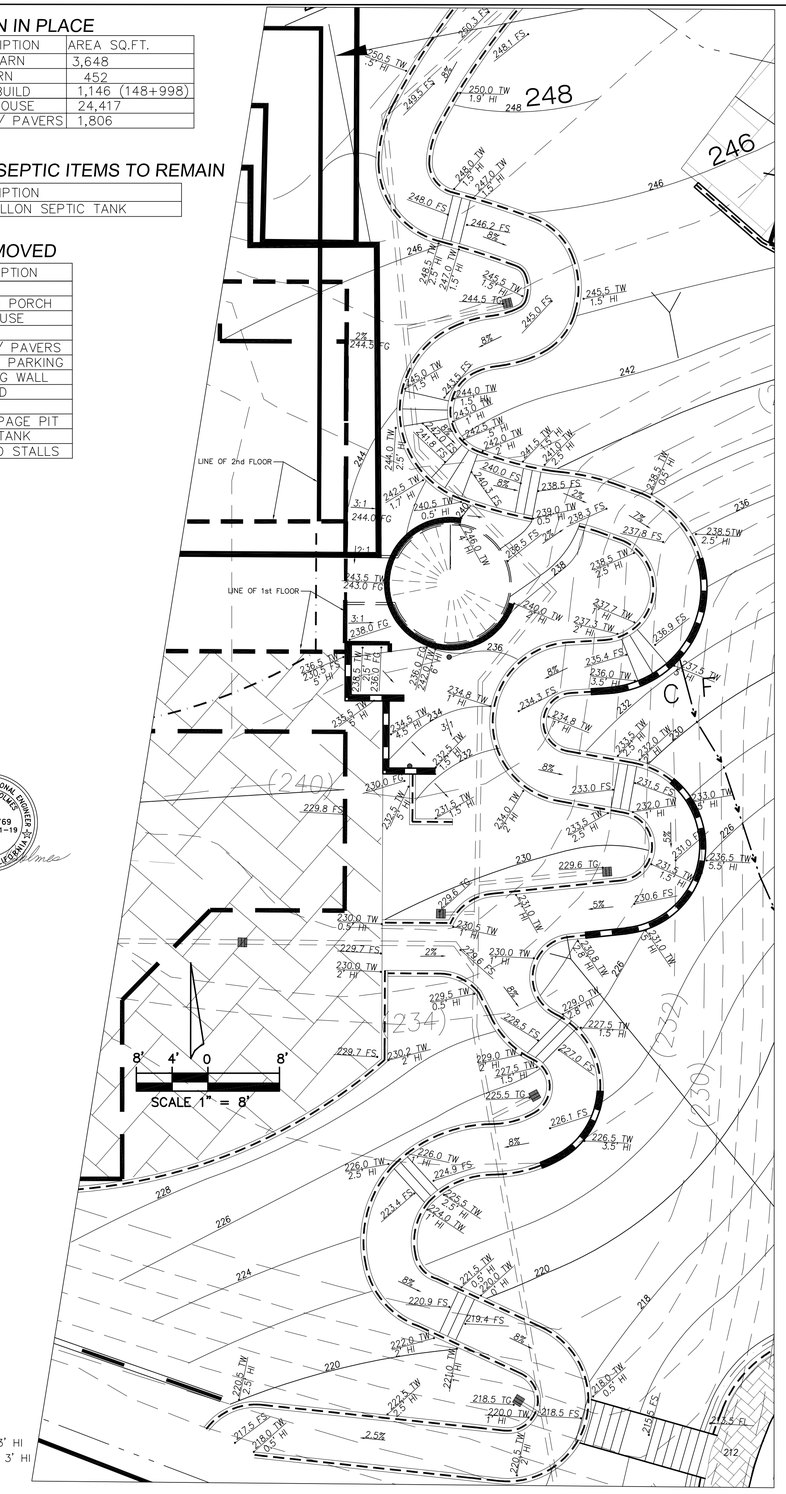
ITEM	DESCRIPTION
H	GARAGE
I	COVERED PORCH
J	MAIN HOUSE
L	POOL
M	ROAD W/ PAVERS
N	ASPHALT PARKING
O	RETAINING WALL
P	CONC.PAD
R	STAIRS
S	5'ø SEEPAGE PIT
T	SEPTIC TANK
U	COVERED STALLS

REGISTERED PROFESSIONAL ENGINEER SHANE P. HOLMES NO. 24769 EXP. 12-31-19 STATE OF CALIFORNIA

LEGEND

560 PROP. MAJOR CONTOURS
PROP. MINOR CONTOURS
(560) EXIST. MAJOR CONTOURS
(562) EXIST. MINOR CONTOURS
EG EDGE OF GUTTER
FF FINISHED FLOOR
FG FINISHED GRADE
FG FINISH GRADE
FH FIRE HYDRANT
FL FLOWLINE
FS FINISH SURFACE
HP HIGH POINT
IE INVERT ELEVATION
TC TOP OF CURB
TG TOP OF GRATE
TW TOP OF WALL
C/F CUT/FILL TRANSITION
EXISTING MASONRY WALL
EXISTING DIRT ROAD
PROPOSED 8" MASONRY WALL OVER 3' HI
PROPOSED 8" MASONRY WALL UNDER 3' HI
12"x12" CATCH BASIN W/ 4" PVC TO MAIN DRAIN LINE OR LARGE POND

THIS PLAN REPRESENTS THE PLAN OF 2-4-19 UPDATED 8-27-19



ENLARGED VIEW OF RAMP- SEE SHEET C-4 FOR REMAINDER

8-27-19

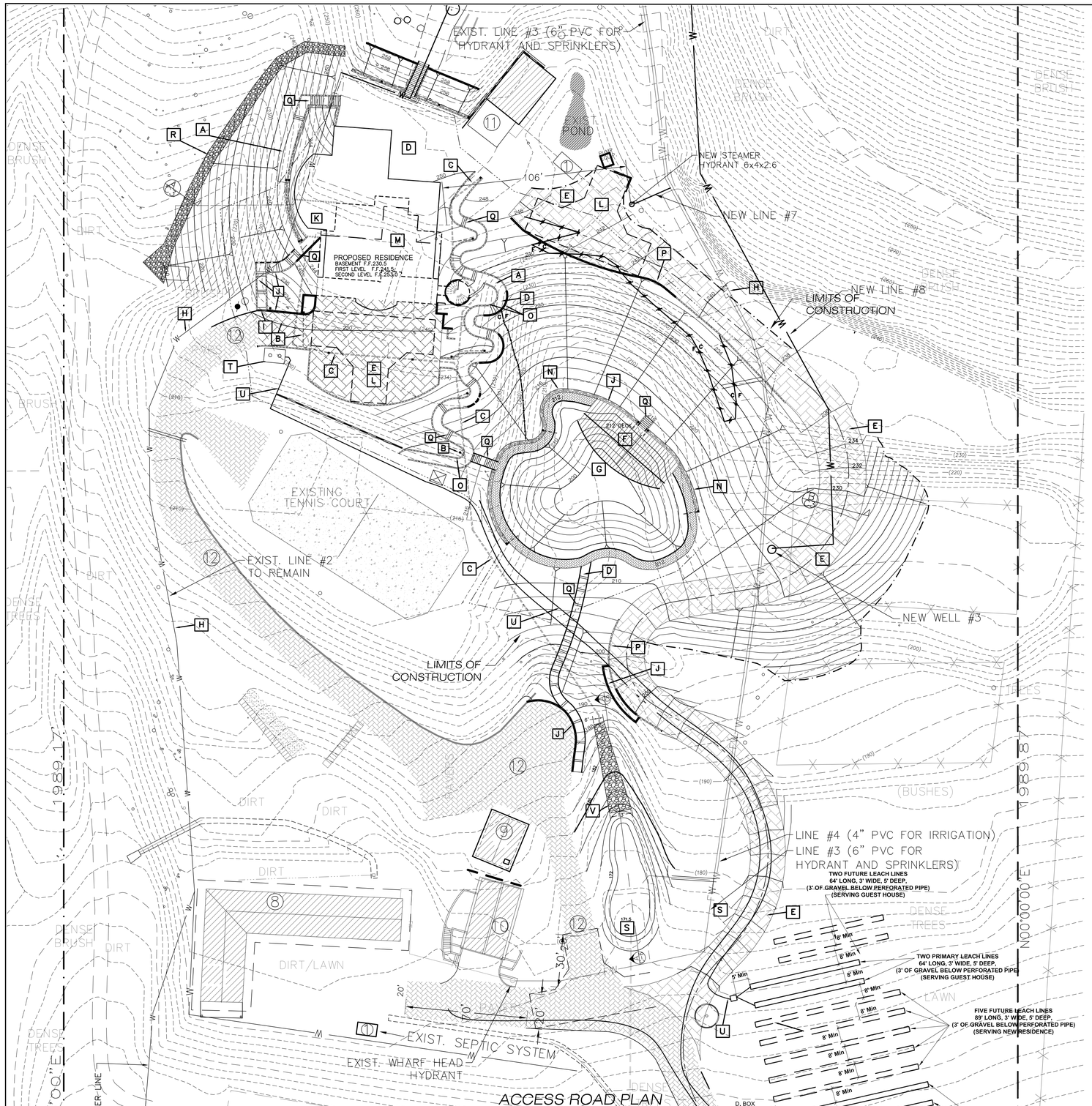
PREPARED BY: Holmes Enterprises, Inc.
Structural and Civil Engineering
200 Wicks Rd. Moorpark, CA. 93021
(805) 532-1571
EMAIL: sholmes932@prodigy.net

PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

REVISION	BY	DATE

PROPOSED RESIDENCE W/ REVISED ACCESS AND DETENTION POND
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY

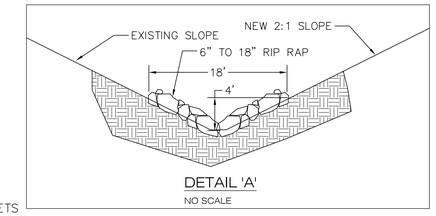
SHEET C2 OF 8



ACCESS ROAD PLAN

KEY NOTES

- A NEW 5' WIDE PERVIOUS WALKWAY AND TERRACE DRAIN
- B NEW 4" PVC DRAIN TO DETENTION POND
- C NEW 6" PVC DRAIN TO DETENTION POND
- D NEW PERVIOUS SURFACED WALKWAY
- E NEW PERVIOUS PAVEMENT DRIVEWAY, STRUCTURAL SECTION PER SOILS ENGINEER
- F NEW DECK TO BE CONSTRUCTED ABOVE FINISHED GRADE PER ARCHITECTURAL PLANS
- G NEW LARGE POND
- H EXIST. WATER LINE, ADJUST TO FINISHED GRADE AS REQUIRED
- I NEW 4" PVC DRAIN THROUGH BASE OF WALL
- J NEW CONSTRUCT 8" RETAINING WALL (TYP.)
- K 1st FLOOR PATIO
- L NEW FIRE DEPARTMENT TURN AROUND
- M PROPOSED RESIDENCE
- N NEW V-DITCH 12'" WIDE 6" DEEP; PROVIDE 2% MIN FALL TO INLETS
- O NEW 8" MASONRY WALL VARYING FROM 6" TO 4.5' HIGH
- P NEW 8" MASONRY WALL ALONG EDGE OF ROAD WITH 6" HIGH CURB ABOVE ROAD
- Q NEW PERVIOUS STEP 6" RISE AND 12" RUN TYP.
- R NEW 6" TO 12" UNGROUTED RIP RAPALONG TOE OF FILL SLOPE
- S DETENTION POND POND
- T NEW SEPTIC TANK
- U NEW SEWER LINE TO NEW LEACH FIELD
- V NEW DECORATIVE ROCKS/RIP RAP



DETAIL 'A'
NO SCALE

NOTES

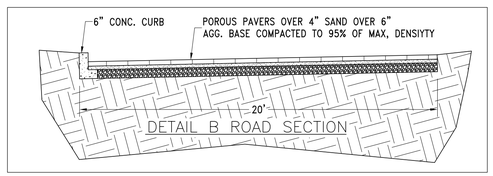
1. Fire Department vecicular access roads must be installed and maintained in a serviceable manner prior to and during the tome of construction. Fire Code 501.4

2. Provide approved signs or other approved notices or markings that include the words NO PARKINK-FIRE LANE. Signs shall have a minimum dimension of 12 inches wide by 18 inches high and have red letters on a white reflective background. Signs shall be provided for the fire apparatus access roads, to clearly indicate the entrance to such road, or prohibit the obstruction thereof and at intervals, as required by the Fire Inspector. Fire Code 503.3

3. When security gates are provided, maintain a minimum width of 20 feet. The security gate shall be provided with an approved means of emergency operation and shall be maintained operational at all times and replaced or repaired when defective. Electric gate operators, where provided, shall be listed in accordance with UL325. Gates intended for automatic operation shall be designed constructed and installed to comply with the requirements of ASTM F220. Gates shall be of the swing or sliding type. Construction of gates shall be of materials that allow manual operation by one person. Fire Code 503.6

4. An approved key box, listed in accordance with UL 1037 shall be provided as required by the Fire Code 506. The location of each key box shall be determined by the Fire Inspector.

5. See Sheet C8 for new fire piping and tanks.



DETAIL B ROAD SECTION

SEE SHEET 2 FOR EXISTING STRUCTURES AND FEATURES TO BE REMOVED

SEE SHEET 4 FOR ENLARGED AREA AND ADDITIONAL DETAILS

EXISTING SEPTIC ITEMS

ITEM	DESCRIPTION
1	1500 GALLON SEPTIC TANK
2	5'Øx30' SEEPAGE PIT
3	FUTURE SEEPAGE PIT

LEGEND OF STRUCTURES

ITEM	DESCRIPTION
8	HORSE BARN
9	HAY BARN
10	STUDIO BUILDING
11	GUEST HOUSE
12	ROAD W/ PAVERS

REGISTERED PROFESSIONAL ENGINEER DANNY P. HOLMES NO. 24769 EXP. 12-31-19 STATE OF CALIFORNIA

30' 15 0 30' 90'

SCALE: 1"=30'

LEGEND

- 560 PROP. MAJOR CONTOURS
- PROP. MINOR CONTOURS
- (560) EXIST. MAJOR CONTOURS
- (562) EXIST. MINOR CONTOURS
- EG EDGE OF GUTTER
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FG FINISH GRADE
- FH FIRE HYDRANT
- FL FLOWLINE
- FS FINISH SURFACE
- HP HIGH POINT
- IE INVERT ELEVATION
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP OF WALL
- C/F CUT/FILL TRANSITION
- EXISTING MASONRY WALL
- EXISTING DIRT ROAD
- PROPOSED 8" MASONRY WALL OVER 3' HI
- PROPOSED 8" MASONRY WALL UNDER 3' HI
- 12"x12" CATCH BASIN W/ 4" PVC TO MAIN DRAIN LINE OR LARGE POND
- LIMITS OF REMOVAL AND RECOMPACTION SEE SOILS REPORT FOR DETAILED REQUIREMENTS

THIS PLAN REPRESENTS THE PLAN OF 2-4-19 UPDATED 8-27-19 — 8-27-19

PREPARED BY:
Holmes Enterprises, Inc.
Structural and Civil Engineering
200 Wicks Rd. Moorpark, CA. 93021
(805) 532-1571
EMAIL: sholmes932@prodigy.net

OWNER:
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

REVISION	BY	DATE

PROPOSED RESIDENCE W/ REVISED ACCESS AND PONDS OVERVIEW
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY

SHEET C3 OF 8

KEY NOTES

- A NEW 5' WIDE PERVIOUS WALKWAY AND TERRACE DRAIN
- B NEW 4" PVC DRAIN TO DETENTION POND
- C NEW 6" PVC DRAIN TO DETENTION POND
- D NEW PERVIOUS SURFACED WALKWAY
- E NEW PERVIOUS PAVEMENT DRIVEWAY, STRUCTURAL SECTION PER SOILS ENGINEER
- F NEW DECK TO BE CONSTRUCTED ABOVE FINISHED GRADE PER ARCHITECTURAL PLANS
- G NEW LARGE POND
- H EXIST, WATER LINE, ADJUST TO FINISHED GRADE AS REQUIRED
- I NEW 4" PVC DRAIN THROUGH BASE OF WALL
- J NEW CONSTRUCT 8" RETAINING WALL (TYP.)
- K CONCRETE PATIO BELOW TRELLIS PATIO PER ARCHITECTURAL PLANS
- L NEW FIRE DEPARTMENT TURN AROUND
- M PROPOSED RESIDENCE
- N NEW V-DITCH 12'" WIDE 6" DEEP; PROVIDE 2% MIN FALL TO INLETS
- O NEW 8" MASONRY WALL VARYING FROM 6" TO 4.5' HIGH
- P NEW 8" MASONRY WALL ALONG EDGE OF ROAD WITH 6" HIGH CURB ABOVE ROAD
- Q NEW PERVIOUS STEP 6" RISE AND 12" RUN TYP.
- R NEW 6" TO 12" UNGROUTED RIP RAP ALONG TOE OF FILL SLOPE
- S DETENTION POND
- T NEW SEPTIC TANK
- U NEW SEWER LINE TO LEACH FIELD

EXISTING SEPTIC ITEMS

ITEM	DESCRIPTION
1	1500 GALLON SEPTIC TANK
2	5'ø x 30' SEEPAGE PIT
3	FUTURE SEEPAGE PIT

EXISTING STRUCTURES

ITEM	DESCRIPTION
8	HORSE BARN
9	HAY BARN
10	COVERED STALLS
11	STUDIO BUILD
12	ROAD W/ PAVERS
13	GUEST HOUSE

SEE SHEET 2 FOR EXISTING STRUCTURES AND FEATURES TO BE REMOVED

REGISTERED PROFESSIONAL ENGINEER JIMMY P. HOLMES NO. 24769 EXP. 12-31-19 STATE OF CALIFORNIA

LEGEND

- 560 PROP. MAJOR CONTOURS
- PROP. MINOR CONTOURS
- (560) EXIST. MAJOR CONTOURS
- (562) EXIST. MINOR CONTOURS
- EG EDGE OF GUTTER
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- LIMITS OF REMOVAL AND RECOMPACTION SEE SOILS REPORT FOR DETAILED REQUIREMENTS

8-27-19

THIS PLAN REPRESENTS A SURVEY OF 2-4-19 UPDATED 8-27-19

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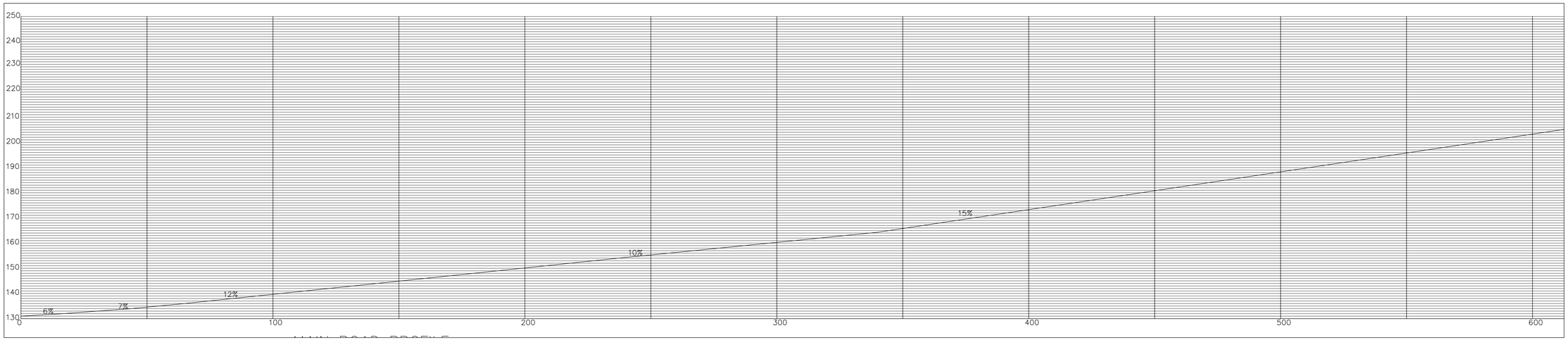
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

△	REVISION	BY	DATE

MAIN RESIDENCE AND POND DRAINAGE AND GRADING PLAN

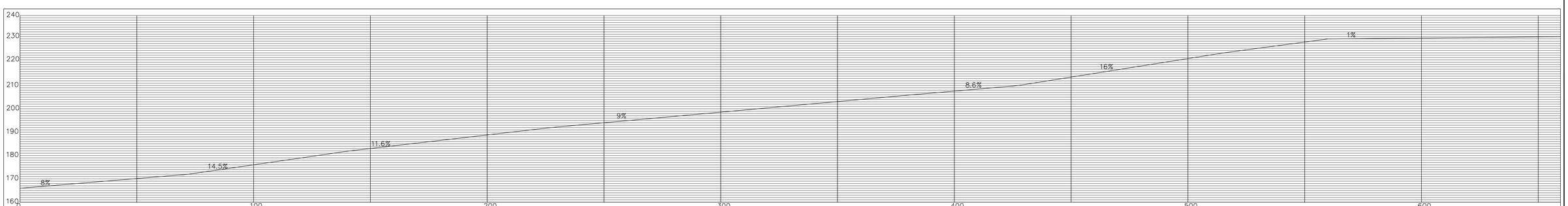
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

SHEET C4 OF 7



MAIN ROAD PROFILE

1"=20'



WEST ACCESS ROAD PROFILE

1"=20'

REGISTERED PROFESSIONAL ENGINEER
GARNET P. HOLMES
NO. 24769
EXP. 12-31-19
STATE OF CALIFORNIA CIVIL

THIS PLAN REPRESENTS A SURVEY OF 2-4-19 UPDATED 8-27-19

8-27-19

PREPARED BY:

Holmes Enterprises, Inc.
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200 Wicks Rd. Moorpark, CA. 93021
(805) 532-1571
EMAIL: sholmes932@prodigy.net

OWNER:
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

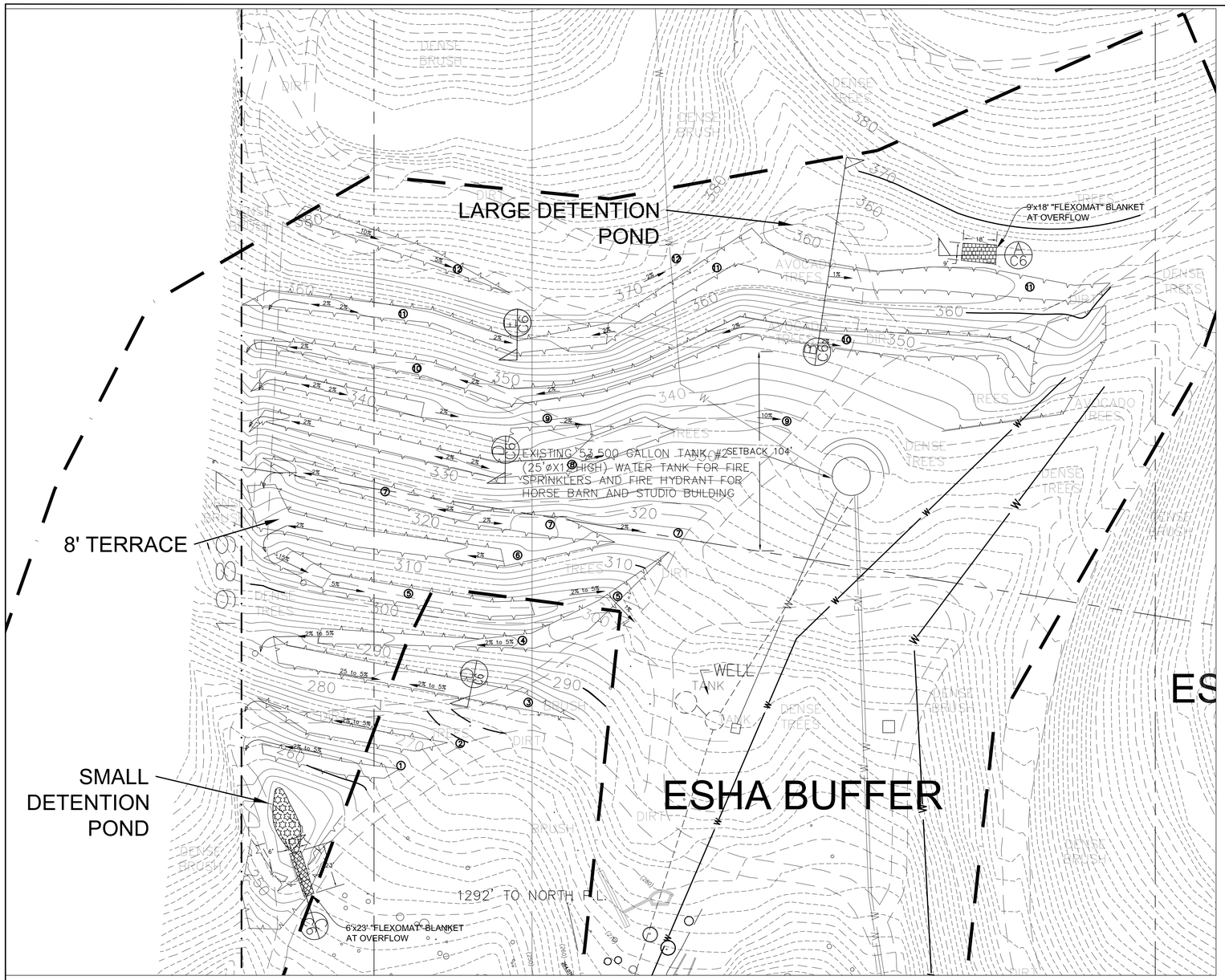
△	REVISION	BY	DATE

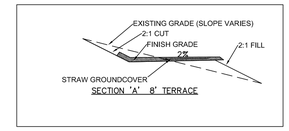
NEW ROAD PPROFILES

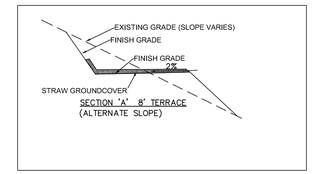
PALMS OF MALIBU RANCH

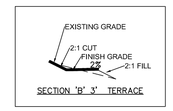
33603 PACIFIC COAST HIGHWAY

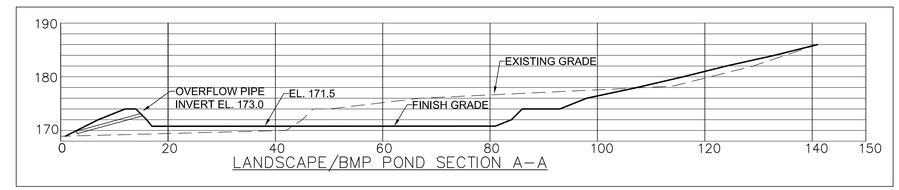
SHEET C5 OF 7



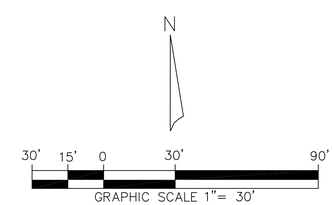


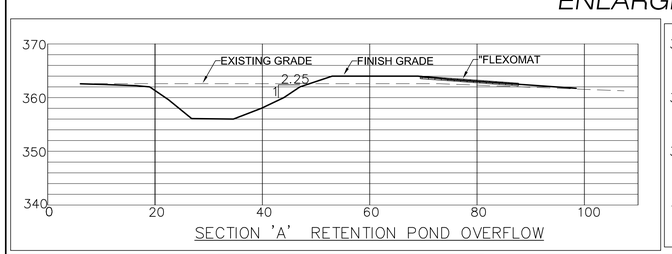


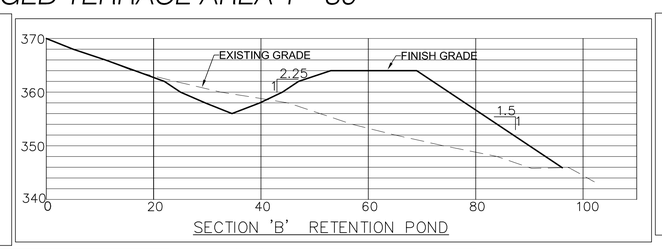


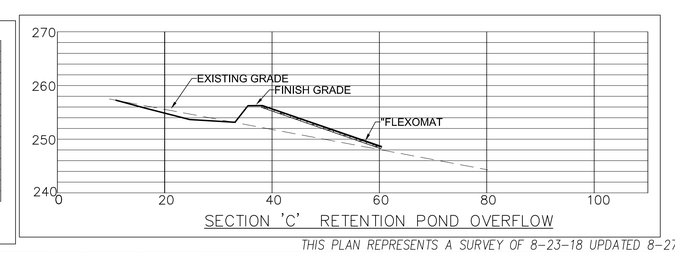


ENLARGED TERRACE AREA 1"=30'









THIS PLAN REPRESENTS A SURVEY OF 8-23-18 UPDATED 8-27-19

REGISTERED PROFESSIONAL ENGINEER JIMMY P. HOLMES NO. 24769 EXP. 12-31-19 STATE OF CALIFORNIA

LEGEND

560	PROP. MAJOR CONTOURS
	PROP. MINOR CONTOURS
(560)	EXIST. MAJOR CONTOURS
(562)	EXIST. MINOR CONTOURS
EG	EDGE OF GUTTER
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	LIMITS OF REMOVAL AND RECOMPACTION SEE SOILS REPORT FOR DETAILED REQUIREMENTS

8-27-19

PREPARED BY:
Holmes Enterprises, Inc.
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PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

△	REVISION	BY	DATE

EROSION CONTROL /TERRACE PLAN
ENLARGED PLAN OF TERRACES
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

SHEET C6 OF 7

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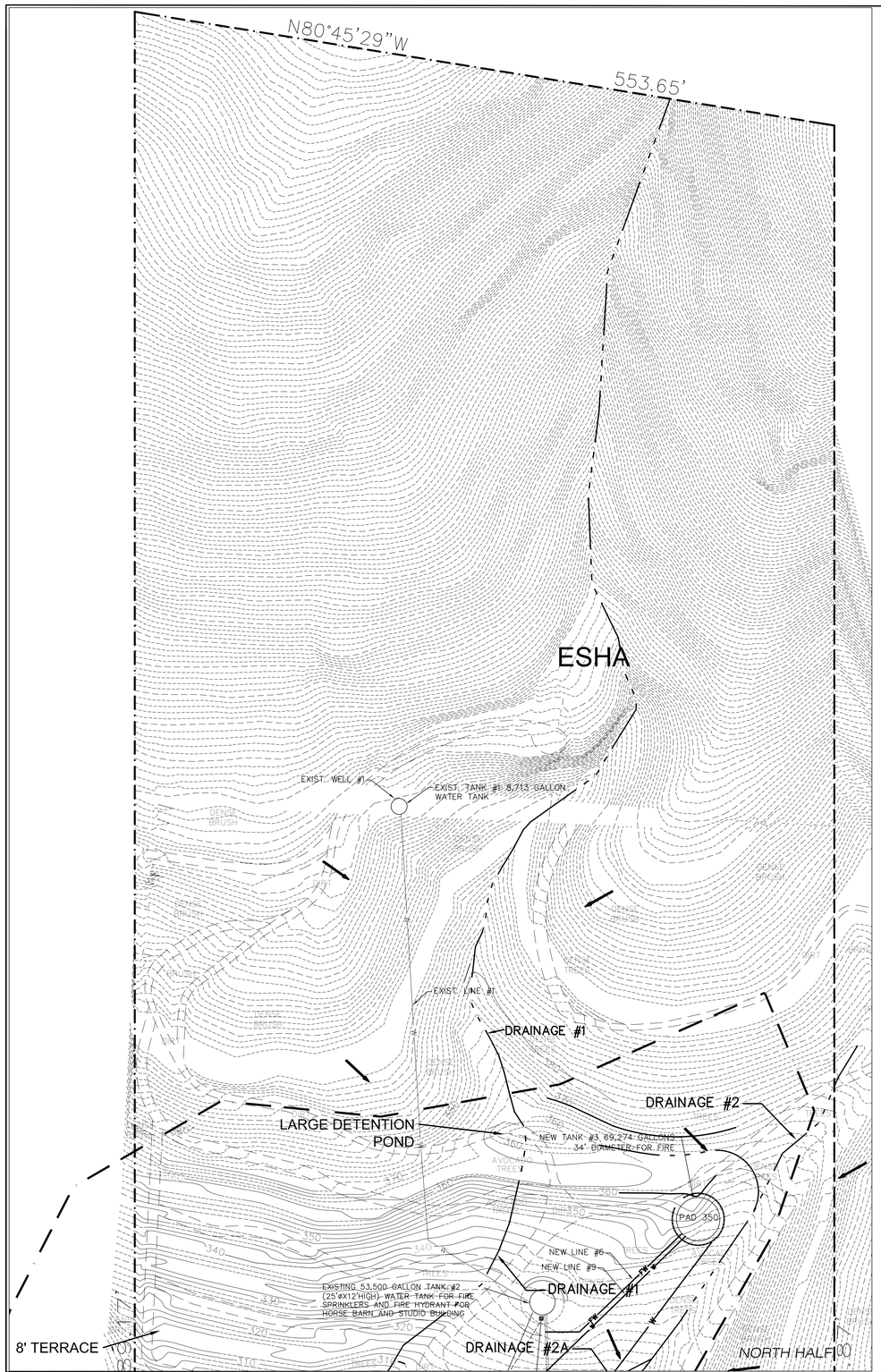

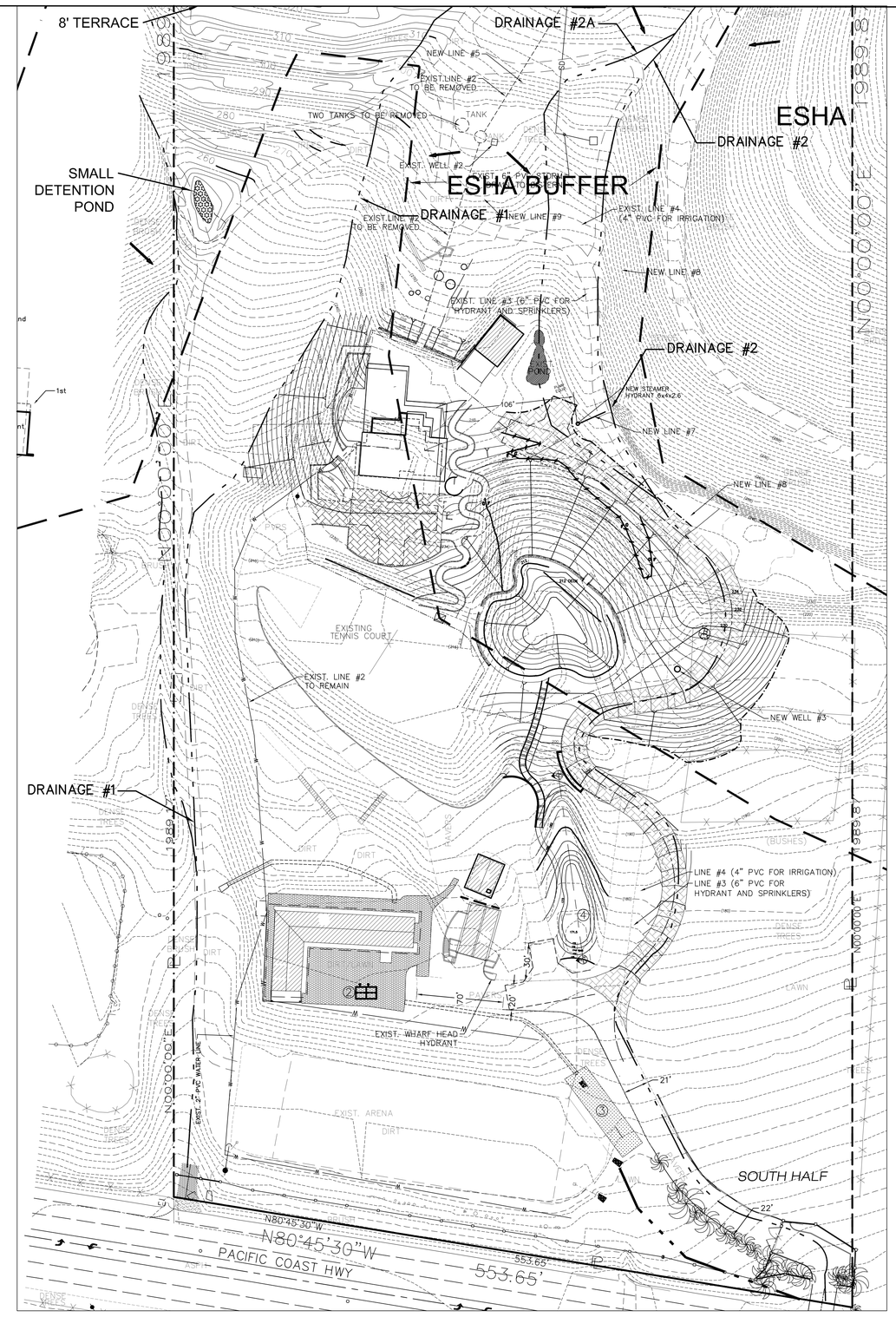

LEGEND

ITEM	DESCRIPTION
2	EXISTING "STORMCHAMBER" TANK
3	EXISTING 20'x70' GRASS SWALE FOR BARN AND STUDIO
4	BMP POND FOR MAIN HOUSE

50' 25 0 50' 150'

SCALE 1"=50'

REGISTERED PROFESSIONAL ENGINEER JOHNY F. HOLMES NO. 24769 EXP. 12-31-19 STATE OF CALIFORNIA

THIS PLAN REPRESENTS A SURVEY OF 8-23-18 UPDATED 8-27-19 8-27-19

PREPARED BY: HEI inc.
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PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

REVISION	BY	DATE

OVERALL DRAINAGE
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

SHEET C7 OF 7

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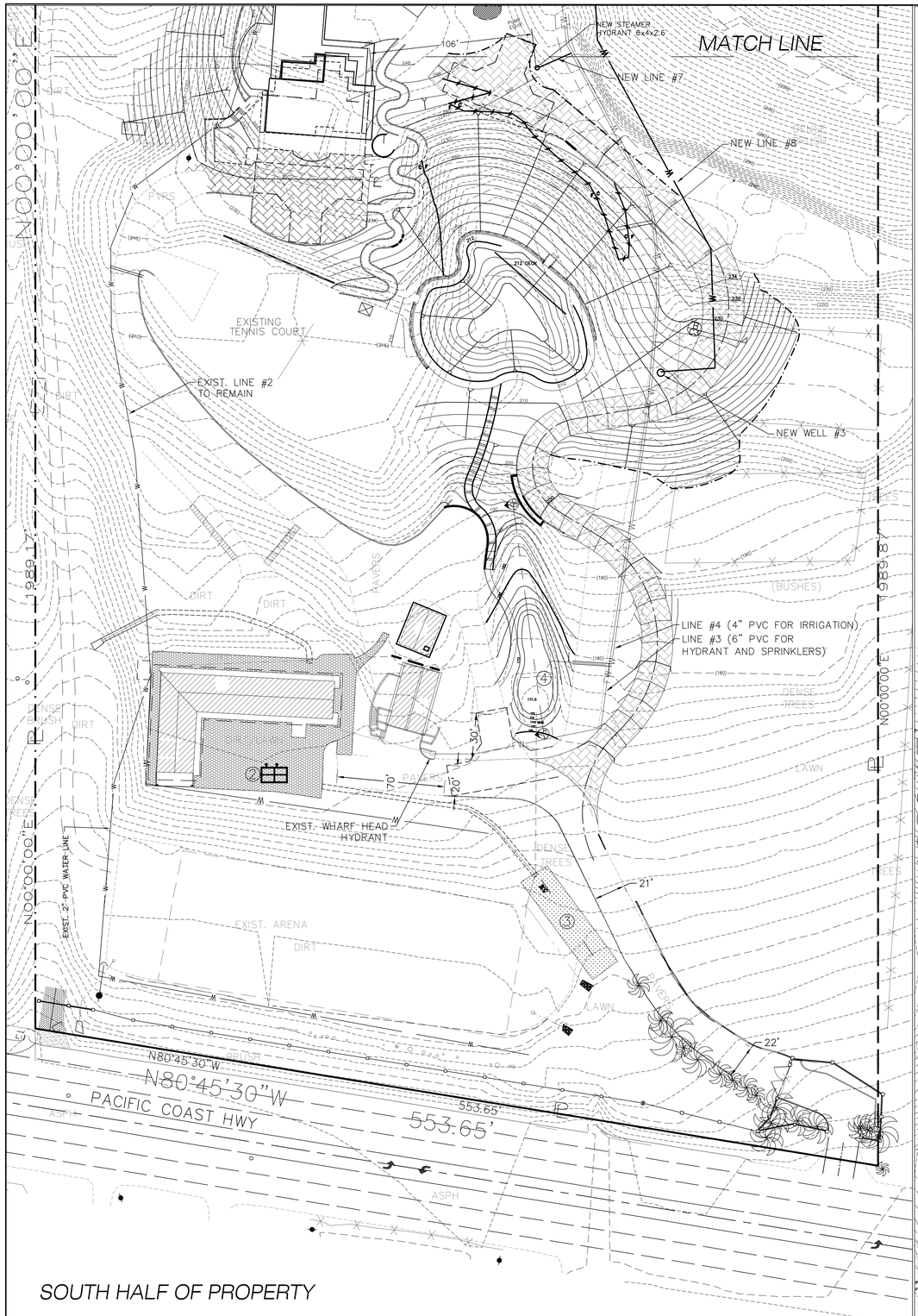

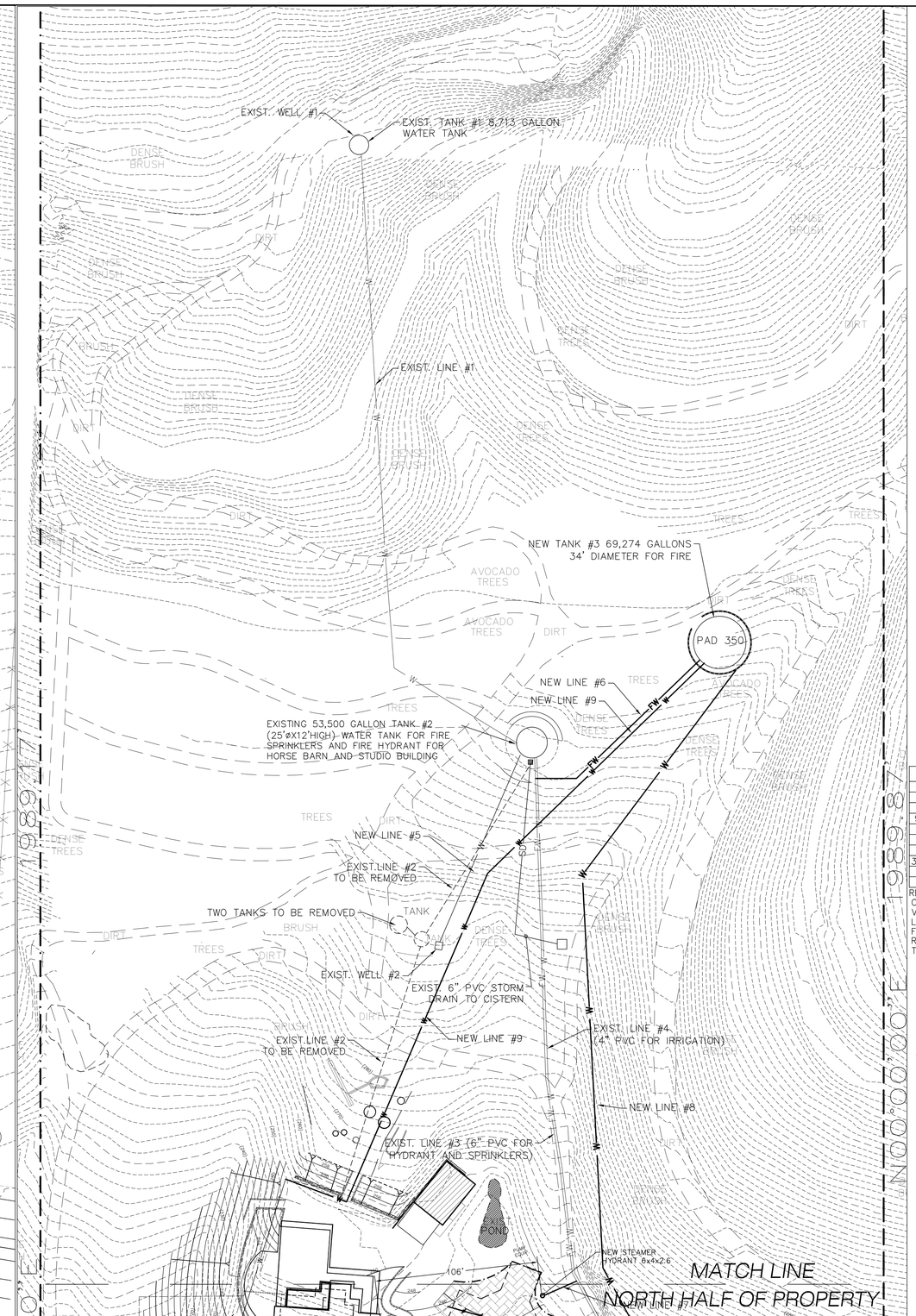

TANK DATA

TANK #	CAPACITY (GALLONS)		
	FIRE	DOMESTIC	TOTAL
1	8,713	0	8,713
2	29,794	3,872	33,666
3	52,706	16,568	69,274
TOTAL	91,213	20,440	111,653

WELL DATA

WELL #	OUTPUT		SUPPLIES
	GAL./MIN.	GAL./24 HRS.	TANK #
1	6.75	9,720	1
2	4.7	6,768	2
3	30.0	43,200	3
	41.45	59,688	

LINE DATA

LINE #	SIZE (IN.)	LENGTH (FT.)	GRAVITY FLOW (GPM)	PROVIDES WATER TO
1	2	427	92.8	TANK # 2
9	2	470	79.7	HOUSE & SPRINKLERS
9&2	2	1,376	63.9	BARN AND STUDIO BLDG.
3	6	1,376	1,190.2	BARN HYDRANT AND SPRINKLERS
4	4	1,246	393.2	IRRIGATION
5	2	125	4.7	FROM WELL #2 TO TANK #2
3,6&7	6	488	1,466.5	NEW HOUSE HYDRANT
8	4	687	30.0	FROM WELL #3 TO TANK #3

REQUIRED FIRE FLOW FOR NEW HOUSE(fFIRE CODE 507.3, B105.3)
CONSTRUCTION TYPE VB
VHFHSZ = YES
LOT SIZE = 24.96 ACRES
FIRE FLOW BASED ON FIRE FLOW CALCULATION AREA: 2,750 GPM
REDUCTION FOR FIRE SPRINKLERS (50% MAX.) 1,375 GPM
TOTAL FIRE FLOW REQUIRED: 1,375x60 MINUTES= 82,500 GALLONS

LINE DATA

LINE #	FRICTION LOSS (FT.)*	TOP EL. (FT.)	BOT. EL. (FT.)	DELTA EL. (FT.)	NET HEAD (FT.)	PRESSURE NET (PSI)
1	44.1	456	333	123	78.9	34.2
9	35.2	350	252	98	62.8	27.2
9/2	65.4	350	168	182	116.6	50.5
3	85.5	350	168	182	87.7	38.0
4	85.5	333	168	165	74.5	39.2
5	N/A	300	252	48	N/A	N/A
3/7	50.8	350	252	98	47.2	20.5
8	5.2	211	350	116	−144.2**	−62.5

* INCLUDES 10% LOSS FOR FITTINGS
**USED FOR DETERMINING PUMP SIZE

REGISTERED PROFESSIONAL ENGINEER
SHAWN P. HOLMES
NO. 24769
EXP. 12-31-19
STATE OF CALIFORNIA

40' 20' 0 40' 120'
SCALE 1"=40'

4-10-19

PREPARED BY:
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PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

REVISION	BY	DATE

FIRE PROTECTION LAYOUT
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

THIS PLAN REPRESENTS THE PLAN OF 1-10-19 UPDATED 8-27-19

SHEET C8 OF 8

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General Notes

1. Best Management Practices (BMP's) contained herein reflect minimum requirements. For additional BMP's refer to California Stormwater BMP Handbooks.
2. All construction activity shall be performed in accordance with a Stormwater Pollution Control Plan (SWPCP) developed and implemented in compliance with requirements of the Ventura Countywide Stormwater Quality Management Program, National
3. Pollution Discharge Elimination System (NPDES) Permit No. CAS063339.

   a. Identify potential pollutant sources and implement design and placement of BMP's to effectively prohibit the entry of pollutants from the construction site into and onto the street and storm drain system during construction.

   b. Be kept on site and amended to reflect changing conditions throughout the coarse of construction.

   c. Be kept up to date. Any additional updates requested by agency representative are to be made immediately.

4. Non-Stormwater discharges are prohibited from entering any storm drain system and/or street.
5. Discharges of pumped ground water require a discharge permit from the State of California Regional Water Quality Control Board (RWQCB).
6. Pollutants shall be removed from stormwater discharges to the Maximum Extent Practicable (MEP) through design & implementation of the SWPCP.
7. A standby crew for emergency work shall be available at all time during the rainy season (Nov. 1 to Apr. 15). Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain is imminent.
8. Portable sanitary facilities shall be located on relatively level ground away from traffic areas, drainage courses, and storm drain inlets.
9. Employees, subcontractors and suppliers shall be educated on all BMP's including concrete waste storage and disposal procedures.
10. Sediment control practices shall effectively prevent a net increase of sediment load in stormwater discharge.

D MATERIAL STORAGE AND DELIVERY

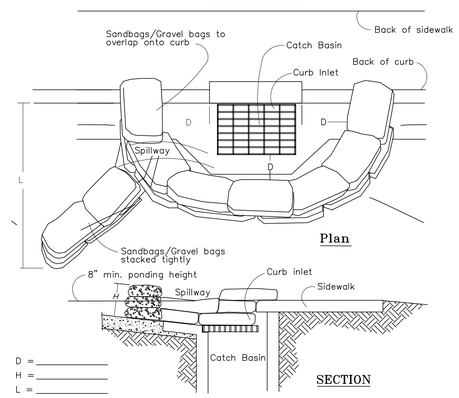
1. APPLY BMP WM-1 FROM THE 2003 CALIFORNIA STORMWATER BMP HANDBOOK FOR CONSTRUCTION AVAILABLE AT www.cabmphandbooks.com.
2. MINIMUM REQUIREMENTS FROM WM-1:
3. MATERIAL DELIVERY AND STORAGE AREAS SHOULD BE LOCATED NEAR THE CONSTRUCTION ENTRANCES, AWAY FROM WATERWAYS OR DRAINAGE PATHS. PREFERRED METHOD OF MATERIAL STORAGE IS INDOORS WITHIN EXISTING STRUCTURES OR SHEDS WHEN AVAILABLE. AT A MINIMUM, MATERIAL STORAGE AREA SHALL BE SURROUNDED WITH PROTECTIVE BERMS.

   MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS AND THE ORIGINAL PRODUCT LABELS SHOULD BE MAINTAINED IN PLACE IN A LEGIBLE CONDITION.

   MATERIALS SHOULD BE STORED ON PALLETS AND SHOULD NOT BE ALLOWED TO ACCUMULATE ON THE GROUND. SECONDARY CONTAINMENT SHALL BE PROVIDED, WHEN POSSIBLE, TO PROVIDE PROTECTION FROM WIND AND RAIN, MATERIALS SHOULD BE COVERED DURING NON-WORKING DAYS AND PRIOR TO AND DURING RAIN OR WIND EVENTS.

4. EMPLOYEES AND SUBCONTRACTORS SHALL BE TRAINED ON PROPER MATERIAL DELIVERY AND STORAGE PRACTICES AND IN EMERGENCY SPILL CLEANUP PROCEDURES.

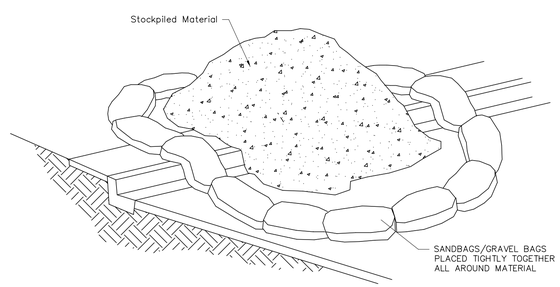
A
Catch Basin/Inlet Protection



Notes:

1. Catch Basin/Inlet protection shall be installed wherever there is a potential of stormwater or non-stormwater being discharged into it.
2. Inlet protection is required along with other pollution prevention measures such as; erosion control, soil stabilization, and measures to prevent tracking onto paved surfaces.
3. Modify inlet protection as needed to avoid creating traffic hazards.
4. Include inlet protection measures at hillside v-ditches and misc. drainage swales.
5. Inlet protection shall be inspected and accumulated sediments removed. Sediment shall be disposed of properly and in a manner that assures that the sediment does not enter the storm drain system
6. Damaged bags shall be replaced immediately.
7. Additional sandbag sediment traps shall be placed at intervals as indicated on site plan.

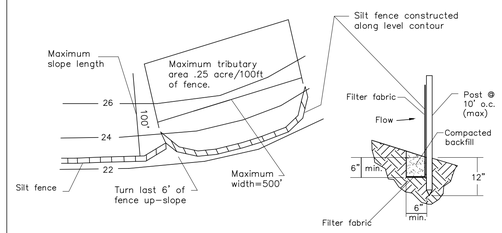
E
Material Storage



Notes:

1. Dirt and other construction related materials placed in the street or on other impervious surfaces must be contained with sandbags or other measures to prevent transport to the stormdrain system.
2. Any construction material stored or stockpiled on-site shall be protected from being transported by the force of wind or water.

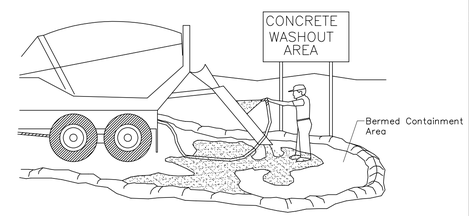
B
Silt Fence



Notes:

1. Construct the silt fence along a level contour.
2. Silt fences shall remain in place until the disturbed area is permanently stabilized.
3. Provide sufficient room for runoff to pond behind the fence and allow sediment removal equipment to pass between the silt fence and toe of slope or other obstructions. About 1200 sq. ft. of ponding area shall be provided for every acre draining to the fence.
4. Turn the ends of the filter fence uphill to prevent stormwater from flowing around the fence.
5. Leave an undisturbed or stabilized area immediately downslope from the fence.
6. Do not place in live stream or intermittently flowing channels.
7. When standard filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy-duty wire staples at least 1 inch long, tie wires or hog rings.

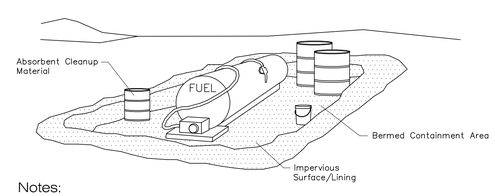
F
Concrete Waste Management



Notes:

1. Excess and waste concrete shall not be washed into the street or into a drainage system.
2. For washout of concrete and mortar products, a designated containment facility of sufficient capacity to retain liquid and solid waste shall be
3. provided on site.
   Slurry from concrete and asphalt saw cutting shall be vacuumed or contained, dried, picked up and disposed of properly.

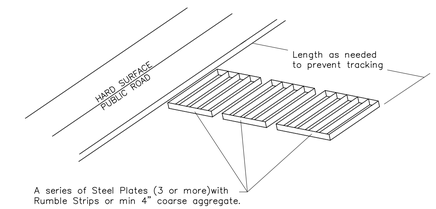
G
Vehicle/Equipment Fueling



Notes:

1. Fueling shall be performed in a designated area, away from drainage
2. courses.
   Absorbent cleanup material shall be on site and used immediately in the event of a spill.

C
Stabilized Construction Entrance



Notes:

1. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways shall be stabilized so as to prevent sediments from being deposited into the public roads. Depositions must be swept up immediately and may not be washed down by rain or other means into the storm drain system.
2. Stabilized construction entrance shall be:
   a. Located at any point where traffic will be entering or leaving a construction site to or from a public right of way, street, alley, and sidewalk or parking area.

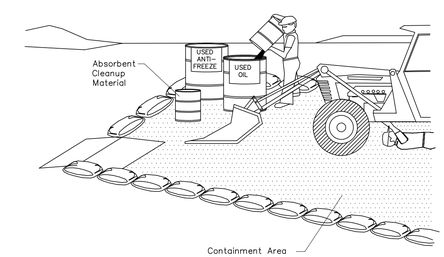
   b. A series of steel plates with "rumble strips", and/or min 4" coarse aggregate with length, width & thickness as needed to adequatly prevent any tracking onto paved surfaces.

3. Adding a wash rack with a sediment trap large enough to collect all wash water can greatly improve efficiency.
4. All vehicles accessing the construction site shall utilize the stabilized construction entrance sites.

Street Maintenance

1. Remove all sediment deposited on paved roadways immediately.
2. Sweep paved areas that receive construction traffic whenever sediment becomes visible.
3. Pavement washing with water is prohibited if it results in a discharge to the storm drain system.

H
Equipment Repair/Maintenance



Notes:

1. Leaking vehicles and equipment shall not be allowed on-site. Equipment and vehicles shall be inspected frequently for leaks and shall be repaired immediately. Clean up spills and leaks promptly with absorbent materials; do not flush with water.
2. Vehicles and equipment shall be maintained, and repaired on-site only in designated areas. Prevent run-on and run-off from designated areas. Containment devices shall be provided and areas shall be covered if necessary.
3. Designate on-site vehicle and equipment maintenance areas, away from storm drain inlets and watercourses.
4. Always use secondary containment, such as a drain pan or drop cloth, to catch spills and leaks when removing or changing fluids.
5. Legally dispose of used oils, fluids, and lubricants.
6. Provide spill containment dikes or secondary containment around stored oil, fuel, and chemical drums.
7. Maintain an adequate supply of absorbent spill cleanup materials in designated area.

2-4-19

PREPARED BY:
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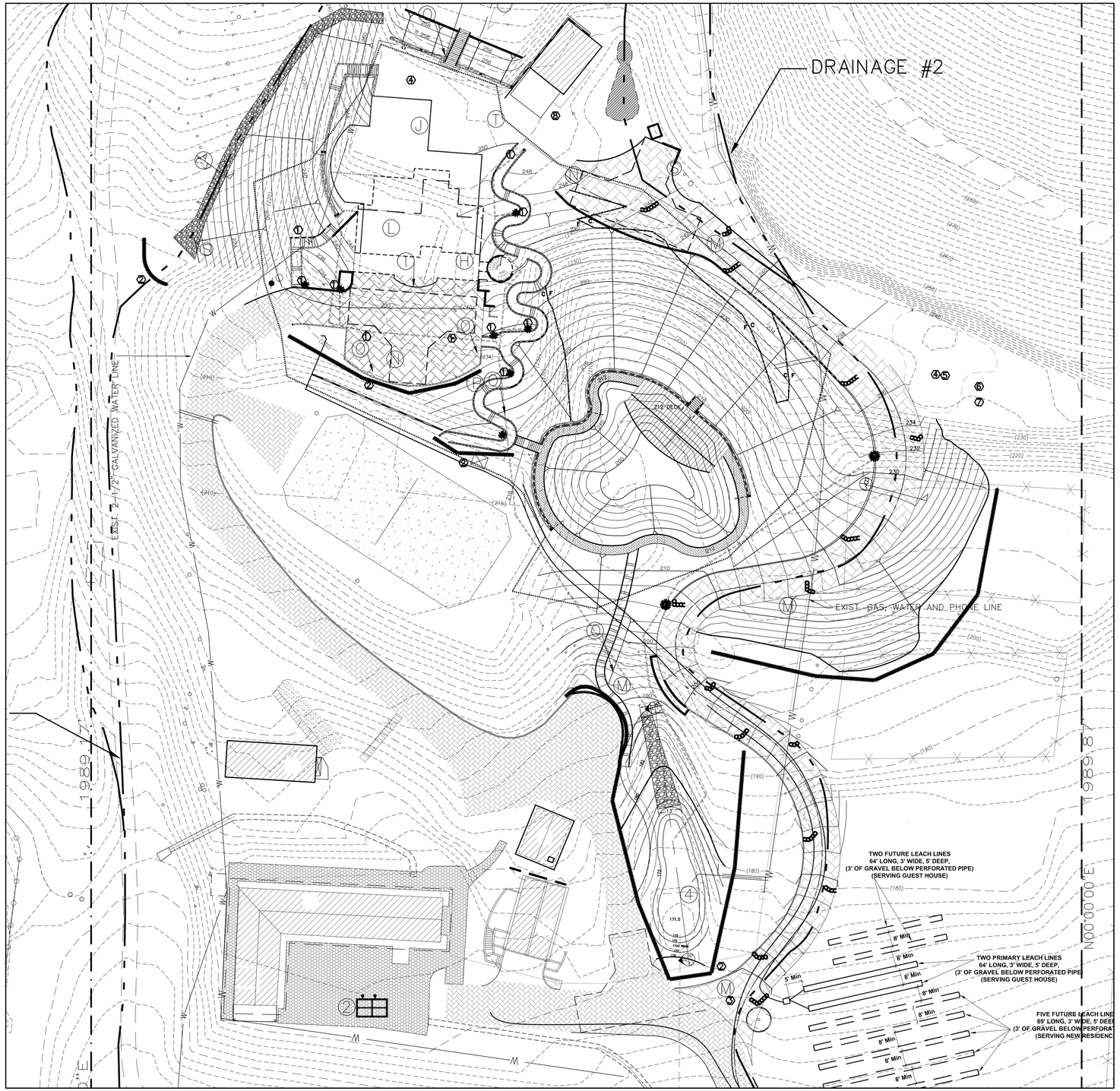
(805) 532-1571
fax: (805) 532-1596

PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

△	REVISION	BY	DATE

STORMWATER POLLUTION PREVENTIOM PLAN AND EROSION CONTROL PLAN
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

SHEET E-1 OF E-2



POLLUTION CONTROL NOTES AND LEGEND

CONTRACTOR SHALL INSTALL POLLUTION CONTROL MEASURES
INCLUDING CONCRETE WASTE MANAGEMENT,MATERIEL STORAGE, EROSION CONTROL MEASURES,
VEHICLE AND EQUIPMENT FUELING, AND EQUIPMENT REPAIR
AS SHOWN ON THIS PLAN SHALL BE AMENDED
INCREASE IN OFF-SITE FLOW OF POLLUTED RUN-OFF

1. **CATCH BASIN PROTECTION PER DETAIL A, SHEET SWPPP 2**
2. **SILT FENCE PER DETAIL B, SHEET SWPPP 2**
3. **STABILIZED CONSTRUCTION ENTRANCE PER DETAIL C, SHEET SWPPP 2**
4. **MATERIAL AND DELIVERY STORAGE PER DETAIL D, SHEET SWPPP 2**
5. **STOCKPILE MANAGEMENT PER DETAIL E, SHEET SWPPP 2**
6. **SPILL PREVENTION PER DETAIL G, SHEET SWPPP 2**
7. **CONCRETE WASHOUT AREA PER DETAIL F, SHEET SWPPP 2**
8. **SANITARY/SEPTIC WASTE MANAGEMENT (ANDY GUMP)**

NON-STORMWATER MANAGEMENT

NS1 - WATER CONSERVATION PRACTICES
NS2 - DEWATERING OPERATIONS
NS3 - PAVING AND GRINDING OPERATIONS
NS4 - TEMPORARY STREAM CROSSING
NS5 - CLEAR WATER DIVERSION
NS6 - ILLICIT CONNECTION/DISCHARGE
NS7 - POTABLE WATER/IRRIGATION
NS8 - VEHICLE AND EQUIPMENT CLEANING
NS9 - VEHICLE AND EQUIPMENT FUELING
NS10 - VEHICLE AND EQUIPMENT MAINTENANCE
NS11 - PILE DRIVING OPERATIONS
NS12 - CONCRETE CURING
NS13 - CONCRETE FINISHING
NS14 - MATERIAL AND EQUIPMENT USE
NS15 - DEMOLITION ADJACENT TO WATER
NS16 - TEMPORARY BATH PLANTS

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL

WM1 - MATERIAL DELIVERY AND STORAGE
WM2 - MATERIAL USE
WM3 - STOCKPILE MANAGEMENT
WM4 - SPILL PREVENTION AND CONTROL
WM5 - SOLID WASTE MANAGEMENT
WM6 - HAZARDOUS WASTE MANAGEMENT
WM7 - CONTAMINATION SOIL MANAGEMENT
WM8 - CONCRETE WASTE MANAGEMENT
WM9 - SANITARY/SEPTIC WASTE MANAGEMENT
WM10 - LIQUID WASTE MANAGEMENT

EROSION CONTROL

EC1 – SCHEDULING
EC2 – PRESERVATION OF EXISTING VEGETATION
EC3 – HYDRAULIC MULCH
EC4 – HYDROSEEDING
EC5 – SOIL BINDERS
EC6 – STRAW MULCH
EC7 – GEOTEXTILES & MATS
EC8 – WOOD MULCHING
EC9 – EARTH DIKES AND DRAINAGE SWALES
EC10 – VELOCITY DISSIPATION DEVICES
EC11 – SLOPE DRAINS
EC12 – STREAMBANK STABILIZATION
EC13 – POLYACRYLAMIDE
SE1 – SILT FENCE
SE2 – SEDIMENT BASIN
SE3 – SEDIMENT TRAP
SE4 – CHECK DAM
SE5 – FIBER ROLLS
SE6 – GRAVEL BAG BERM
SE7 – STREET SWEEPING AND VACUUMING
SE8 – SANDBAG BARRIER
SE9 – STRAW BALE BARRIER
SE10 – STORM DRAIN INLET PROTECTION

WIND EROSION CONTROL

WE1 - WIND EROSION CONTROL

EQUIPMENT TRACKING CONTROL

TC2 - STABILIZED CONSTRUCTION ROADWAY
TC3 - ENTRANCE/OUTLET TIRE WASH

TEMPORARY SEDIMENT CONTROL

SE1 - SILT FENCE
SE2 - SEDIMENT BASIN
SE3 - SEDIMENT TRAP
SE4 - CHECK DAM
SE5 - FIBER ROLLS
SE6 - GRAVEL BAG BERM
SE7 - STREET SWEEPING AND VACUUMING
SE8 - SANDBAG BARRIER
SE9 - STRAW BALE BARRIER
SE10 - STORM DRAIN INLET PROTECTION
SAW CUTTING AND SLURRY PER CITY
OF SLO STD

LEGEND

560 EXIST. MAJOR CONTOURS
EXIST. MINOR CONTOURS
FG FINISHED GRADE
HP HIGH POINT
FL FLOWLINE
GB GRADE BREAK
FH FIRE HYDRANT
SD STORM DRAIN
TC TOP OF CURB
TW TOP OF WALL
139.1 EXISTING SPOT ELEVATION
EXISTING MASONRY WALL
EXISTING DIRT ROAD
SAND BAGS
SILT FENCE
WADDLE AROUND CATCH BASIN
12"x12" CATCH BASIN W/ (4) 1" HOLES IN BOTTOM AND 4" PVC DRAIN LINE TO MAIN 6" DRAIN LINE TO BMP POND AT STUDIO
24"x24" CATCH BASIN W/ (4) 1" HOLES IN BOTTOM AND 4" PVC DRAIN LINE TO MAIN 6" DRAIN LINE TO BMP POND AT STUDIO

REGISTERED PROFESSIONAL ENGINEER
DANIT P. HOLMES
NO. 24769
EXP. 12-31-19
STATE OF CALIFORNIA

2-4-19

PREPARED BY:
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PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

△	REVISION	BY	DATE

STORMWATER POLLUTION PREVENTIOM PLAN AND
EROSION CONTROL PLAN
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

SHEET E-2 OF E-2

LEGEND

- REMEDIAL GRADING
- UNDER STRUCTURE GRADING
- NON-XEMPT GRADING
- SAFETY GRADING

20' 10 0 20' 60'

SCALE 1"=20'

REGISTERED PROFESSIONAL ENGINEER DANNY P. HOLMES NO. 24769 EXP. 12-31-19 STATE OF CALIFORNIA

LEGEND

560	PROP. MAJOR CONTOURS
	PROP. MINOR CONTOURS
(560)	EXIST. MAJOR CONTOURS
(562)	EXIST. MINOR CONTOURS
EG	EDGE OF GUTTER
FF	FINISHED FLOOR
FG	FINISHED GRADE
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOWLINE
FS	FINISH SURFACE
HP	HIGH POINT
IE	INVERT ELEVATION
TC	TOP OF CURB
TG	TOP OF GRATE
TW	TOP OF WALL
C F	CUT/FILL TRANSITION
	EXISTING MASONRY WALL
	EXISTING DIRT ROAD
	PROPOSED 8" MASONRY WALL OVER 3' HI
	PROPOSED 8" MASONRY WALL UNDER 3' HI
	12"x12" CATCH BASIN W/ 4" PVC TO MAIN DRAIN LINE OR LARGE POND
	LIMITS OF REMOVAL AND RECOMPACTION SEE SOILS REPORT FOR DETAILED REQUIREMENTS

COLORED GRADING MAP

8-27-19

PREPARED BY:
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PALMS OF MALIBU RANCH
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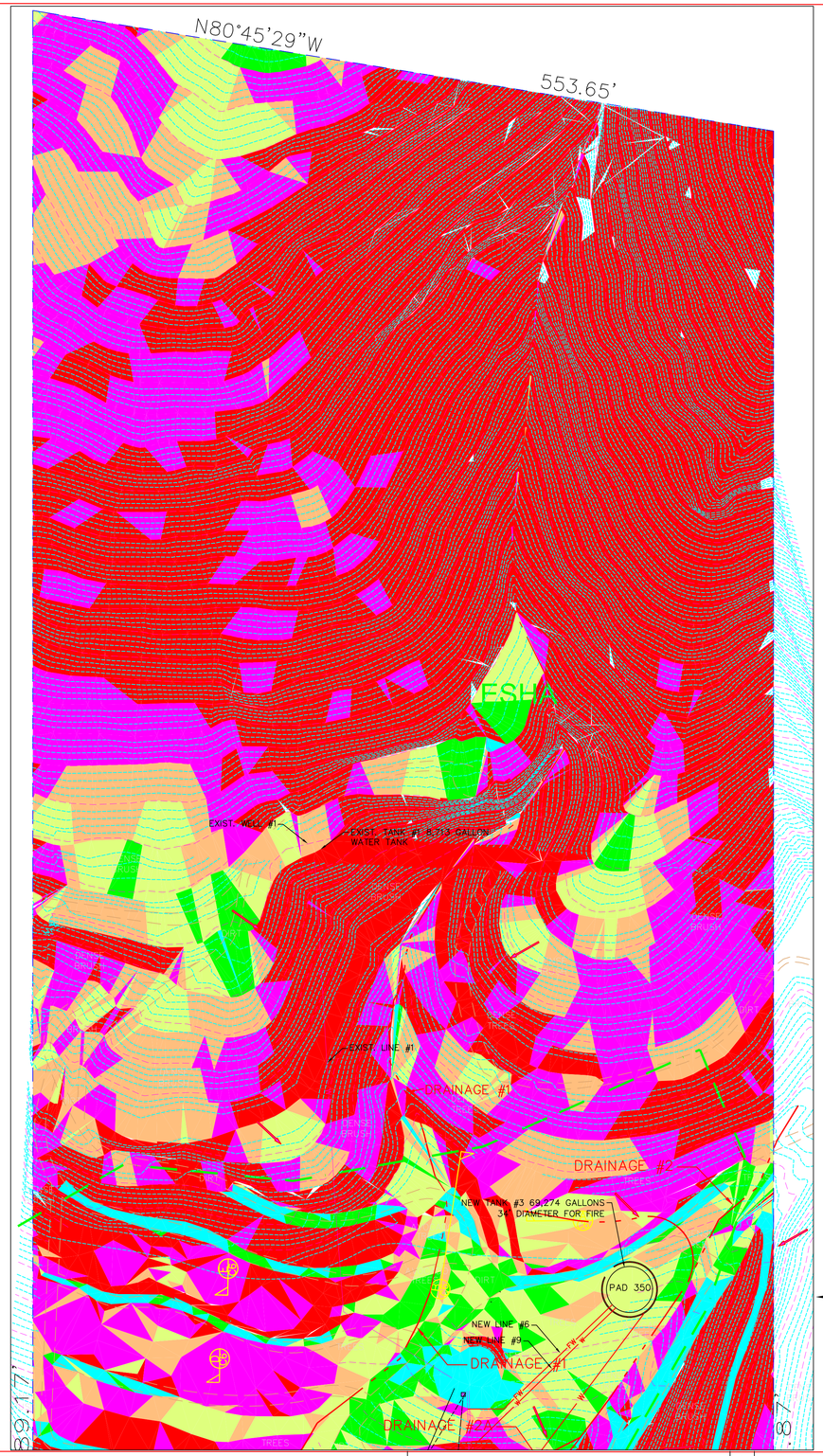
SHEET G-1OF G-1



NORTH HALF

SOUTH HALF

SLOPE ANALYSIS

Color	Range Beg.	Range End	Percent	Area
	0:0	5:1	25.3	268262.8
	5:1	4:1	5.1	53702.0
	4:1	3:1	7.9	83313.3
	3:1	2.5:1	8.8	92749.4
	2.5:1	1:1	16.7	176888.8
	1:1	1:1+	36.3	384134.0

50' 25 0 50' 150'

SCALE 1"=50'

REGISTERED PROFESSIONAL ENGINEER GRANT F. HOLMES NO. 24759 EXP. 12-31-19 STATE OF CALIFORNIA

THIS PLAN REPRESENTS A SURVEY OF 5-10-16 UPDATED 8-27-19

8-27-19

PREPARED BY:
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PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

△	REVISION	BY	DATE

SLOPE MAP
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

SHEET SL1 OF SL1

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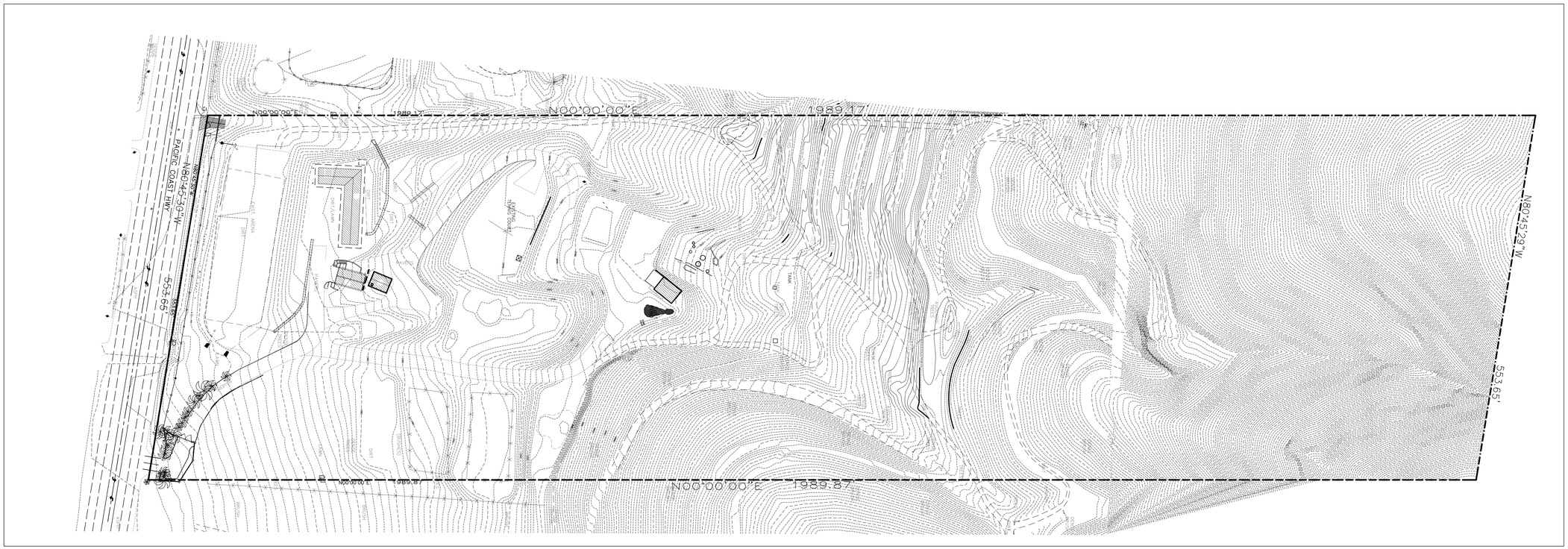

PROPERTY ADDRESS:

33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

ACCESSOR'S PARCEL NO.'S:

4473-002-002

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

A PARCEL OF LAND, BEING A PORTION OF RANCHO TOPANGA MALIBU SEQUIT AS CONFIRMED TO MATTHEW KELLER BY PATENT RECORDED IN BOOK 1 PAGES 407 ET SEQ., OF PATENTS, IN THE CITY OF MALIBU, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTHERLY LINE OF THE 80 FOOT STRIP OF LAND DESCRIBED IN DEED FROM T.R. CADWALADER, ET AL, TO THE STATE OF CALIFORNIA, RECORDED IN BOOK 15228, PAGE 342 OF OFFICIAL RECORDS OF SAID COUNTY; SAID POINT BEING DISTANT SOUTH 80° 45' 30" EAST, ALONG SAID NORTHERLY LINE, 2677.02 FEET FROM A POINT IN SAID NORTHERLY LINE THAT IS DISTANT NORTH 9° 14' 30" EAST, 40 FEET FROM ENGINEER'S CENTERLINE STATION 192 + 85.81, AT THE WESTERLY EXTREMITY OF THAT CERTAIN COURSEDESCRIBED IN SAID DEED AS SOUTH 80 45' 30" EAST, 7702.63 FEEET, SAID POINT OF BEGINNING.
ALSO
THE SOUTHEASTERLY CORNER OF THE LAND DESCRIBED IN DEED TO DAVIX L. FIALKOFF, RECORDED ON MARCH 12, 1943, AS INSTRUMENT NOX 349, IN BOOK 19875 PAGE 221, OFFICIAL RECORDS; THENCE ALONG SAID 80 FEET O F LAND, NORTH 80° 45' 30" WEST, 923.65 FEET; THENCE NORTH PARALLEL WITH THE EASTERLY LINE OF SAID LAND OF FAILKOFF, 2000 FEET; THENCE PARALLEL WITH THE NORTHERLY LINE OF SAID 80 FOOT STRIP OF LAND, SOUTH 80° 45' 30" EAST, 923.65 FEET TO SAID EASTERLY LINE; THENCE SOUTHERLY 2000 FEET TO THE POINT OF BEGINNING.

EXCEPT THE SOUTHERLY 10 FEET, MEASURED AT RIGHT ANGLES OF SAID LAND.

ALSO EXCEPT THAT PORTION OF SAID LAND LYING EASTERLY OF A LINE THAT IS PARALLEL WITH AND DISTANT WESTERLY 370 FEET FROM THE EASTERLY LINE OF SAID LAND, SAID 370 FEET BEING MEASURED ALONG THE SOUTHERLY LINE OF SAID LAND.

BASIS OF BEARINGS:

THE BEARING OF S 80° 45' 30"" W ALONG THE CENTERLINE OF PACIFIC COAST HIGHWAY AS SHOWN ON A MAP OF TRACT NO. 43599, AS RECORDED IN BOOK 1060, PAGES 87-90 IN THE OFFICE OF THE RECORDER OF LOS ANGELES COUNTY, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCH MARK:

MALIBU 90.045' CS MON IN WELL 4FT N/O S EDGE DY 9085
(1990) PVMT 36FT S C/L PACIFIC COAST
HWY 350FT W/O DECKER CYN RD MKD (DUME POINT A-7)

ELEVATION DATUM IS BASED ON NGVD 1929.

NOTES:

1) PERTAINING TO SURVEY AND TOPO MAP, IF RETAINING WALLS OR SIMILAR STRUCTURES ARE TO BE DESIGNED FROM CONTOURS SHOWN ON THIS MAP, GROUND ELEVATIONS AT CRITICAL POINTS CONTROLLING THE DESIGN SHOULD BE VERIFIED BY DIRECT LOCATION AND LEVELS PRIOR TO FINAL DESIGN ADOPTION.

2) UTILITIES, IF LOCATED, ARE BY SURFACE EVIDENCE ONLY. (MANHOLES, WATER METERS, GAS METERS, POWER POLES, ETC.,)

LEGEND:

PROPERTY LINE:
STREET CENTERLINE (C):
MONUMENT:
ENCROACHMENT: (ENCR.)
CLEAR: (CLR.)
STREET LIGHT (ST.LT.):
ASPHALT (A/C):
BUILDING:
CHAIN LINK FENCE: X
WOOD FENCE: W
WIRE FENCE:
CONCRETE (CONC.):
MANHOLE (M.H.):
IRRIGATION CONTROL VALVE: I.C.V.
TREES:
EXIST. MAJOR AND MINOR CONTOURS (330)

NORTH HALF

80' 40' 0 240'
GRAPHIC SCALE 1"= 80'

REGISTERED PROFESSIONAL ENGINEER
JIMMY P. HOLMES
NO. 24769
EXP. 12-31-19
STATE OF CALIFORNIA

THIS PLAN REPRESENTS A SURVEY OF 5-12-16 UPDATED 8-27-19

8-17-19

PREPARED BY:
Holmes Enterprises, Inc.
Structural and Civil Engineering
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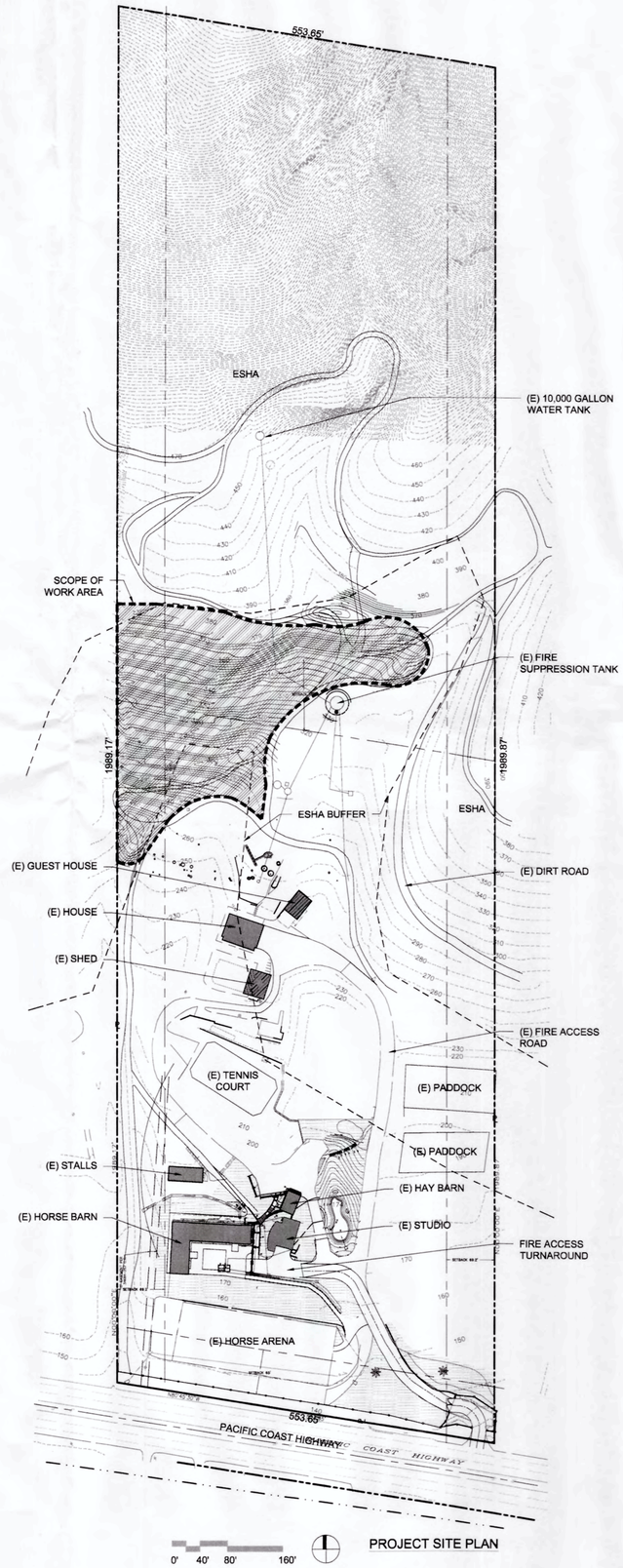
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

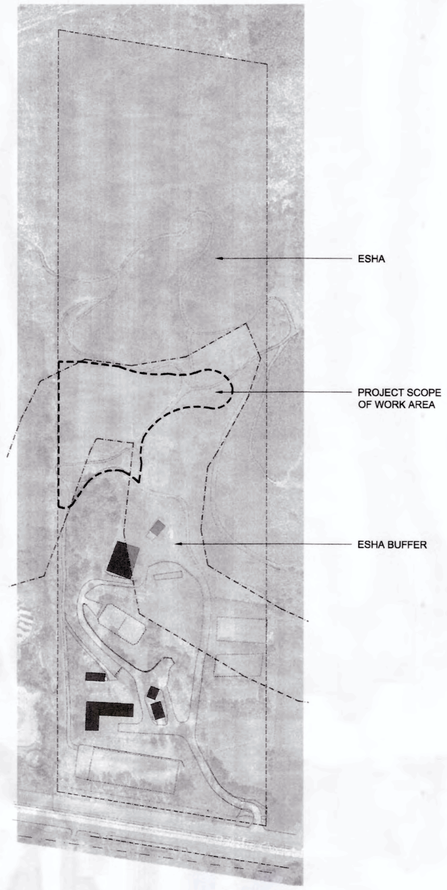
	REVISION	BY	DATE

SLOPE MAP
PALMS OF MALIBU RANCH
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

SHEET SV1 OF SV1



PROJECT SITE PLAN



ESHA DIAGRAM

N.T.S.

SHEET LIST

L1.0 SITE PLAN

L3.1 IRRIGATION PLAN - AGRICULTURAL TERRACES
L3.2 IRRIGATION LEGEND
L3.3 IRRIGATION DETAILS

L4.1 PLANTING PLAN - AGRICULTURAL TERRACES
L4.2 PLANTING NOTES

L5.1 NOT USED

L6.1 PLANTING DETAILS

PROJECT DESCRIPTION

PROPERTY OWNER NAME:
KLAUS HEIDEGGER

PROPERTY ADDRESS:
33603 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

APN: 4473-002-002

LOT SIZE: 1,087,392 SF (25 ACRES)

PROPOSED NEW IRRIGATED LANDSCAPE AREA: 88,939 SQ. FT. = 8.1% OF PROPERTY

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL GOVERNING AGENCIES REQUIREMENTS AND CODES.

2. CONTRACTOR AND/OR SUBCONTRACTORS SHALL EMPLOY NO PERSONS NOT PROVIDED WITH APPROPRIATE WORKMAN'S COMPENSATION INSURANCE AS REQUIRED BY THE STATE OF CALIFORNIA .

3. UPON COMPLETION OF THE WORK, CONTRACTOR AND/OR SUBCONTRACTORS SHALL LEAVE THE SITE CLEAN AND SUITABLE FOR OCCUPANCY.

4. CONTRACTOR AND /OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS PRIOR TO COMMENCING OR CONTINUING WORK.

5. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.

6. THE LANDSCAPE ARCHITECT OR ENGINEER SHALL BE NOTIFIED OF ANY UNUSUAL OR UNFORESEEN SITUATIONS OR CONDITIONS WHICH AFFECT THE STRUCTURAL STABILITY OR SAFETY OF THE SITE AND/OR BUILDING PRIOR TO CONTINUING WITH CONSTRUCTION.

7. CONTRACTOR AND/OR SUBCONTRACTORS SHALL PROTECT EXISTING CONSTRUCTION AND LANDSCAPING, AS SPECIFIED BY THE OWNER, FROM DAMAGE DURING CONSTRUCTION.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO PROTECT PERSONNEL AND ADJACENT PROPERTY DURING CONSTRUCTION. THE CONTRACTOR SHALL ADEQUATELY BRACE ELEMENTS OF THE STRUCTURE DURING CONSTRUCTION TO ENSURE THE SAFETY OF THE SITE AND/OR STRUCTURES.

9. THERE SHALL BE NO DEVIATIONS FROM STRUCTURAL DETAILS WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.

10. NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED OR OTHERWISE WEAKENED, EXCEPT AS ALLOWED BY THE UNIFORM BUILDING CODE, UNLESS OTHERWISE NOTED ON THE PLANS.

11. CONTRACTOR SHALL SUBMIT COPIES OF ALL SHOP DRAWINGS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF RELATED WORK, AND ALLOW AMPLE TIME FOR LANDSCAPE ARCHITECT'S REVIEW AND COORDINATION.

12. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH INFORMATION FURNISHED BY THE OWNER AND SHALL AT ONCE REPORT TO THE LANDSCAPE ARCHITECT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED. THE CONTRACTOR SHALL NOT BE LIABLE TO THE OWNER OR LANDSCAPE ARCHITECT FOR DAMAGE RESULTING FROM ERRORS, INCONSISTENCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS UNLESS THE CONTRACTOR RECOGNIZED SUCH ERROR, INCONSISTENCY OR OMISSION AND KNOWINGLY FAILED TO REPORT IT TO THE LANDSCAPE ARCHITECT. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT SUCH NOTICE TO THE LANDSCAPE ARCHITECT, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT TO THE ATTRIBUTABLE COSTS FOR THE CORRECTION.

13. THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS AND CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONSTRUCTION DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT AT ONCE.

14. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

15. THE CONTRACTOR IS REQUIRED:
(1)TO REVIEW A SPECIFIED CONSTRUCTION OR INSTALLATION PROCEDURE (INCLUDING THOSE RECOMMENDED BY THE MANUFACTURERS);
(2) TO ADVISE THE LANDSCAPE ARCHITECT (A) IF THE SPECIFIED PROCEDURE DEVIATES FROM GOOD CONSTRUCTION PRACTICE, (B) IF FOLLOWING THE PROCEDURE WILL AFFECT ANY WARRANTIES, INCLUDING MANUFACTURERS' WARRANTIES AND THE CONTRACTOR'S GENERAL WARRANTY, OR (C) OF ANY OBJECTIONS THE CONTRACTOR MAY HAVE TO THE PROCEDURE; AND (3) TO PROPOSE ANY ALTERNATIVE INSTALLATION WHICH THE CONTRACTOR WILL WARRANT.

16. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THE AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING PORTIONS OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.

17. THE CONTRACTOR SHALL NOT BE RELIEVED OF OBLIGATIONS TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS EITHER BY ACTIVITIES OR DUTIES OF THE LANDSCAPE ARCHITECT IN THE LANDSCAPE ARCHITECT'S ADMINISTRATION OF THE CONTRACT, OR BY TESTS, INSPECTIONS OR APPROVALS REQUIRED OR PERFORMED BY PERSONS OTHER THAN THE CONTRACTOR.

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION OF PORTIONS OF THE WORK ALREADY PERFORMED UNDER THIS CONTRACT AND PREVIOUS WORK BY OTHERS, TO DETERMINE THAT SUCH PORTIONS ARE IN PROPER CONDITION TO RECEIVE SUBSEQUENT WORK.

19. THE CONTRACTOR SHALL TAKE ADEQUATE SAFEGUARDS AGAINST HARM TO OCCUPANTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO SAFE AND ADEQUATE ACCESS INTO AND OUT OF THE BUILDING DURING CONSTRUCTION. ACCESS TO THE BUILDING SHALL BE VERIFIED BY BOTH THE LANDSCAPE ARCHITECT AND THE OWNER.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING STORM WATER DRAINAGE CONNECTIONS, GRADING, ETC TO ENSURE PROPER DRAINAGE.

21. PRIOR TO INSTALLATION OF ANY LANDSCAPING, THE APPLICANT SHALL OBTAIN A PLUMBING PERMIT FOR THE PROPOSED IRRIGATION SYSTEM FROM THE BUILDING SAFETY DIVISION.

22. INVASIVE PLANT SPECIES, AS DETERMINED BY THE CITY OF MALIBU, ARE PROHIBITED.

23. THE LANDSCAPE PLAN SHALL PROHIBIT THE USE OF BUILDING MATERIALS TREATED WITH TOXIC COMPOUNDS SUCH AS CREOSOTE AND COPPER ARSENATE.

24. UP-LIGHTING OF LANDSCAPING IS PROHIBITED.

25. DELETE, OR REPLACE WITH TRUE NATIVE SPECIES, ANY CULTIVARS OR HYBRIDS IN AREAS GREATER THAN 50 FEET FROM THE PRIMARY RESIDENCE. THESE ARE NOT CONSIDERED NATIVE PLANTS.

26. EXPORTED SOIL FROM A SITE SHALL BE TAKEN TO THE COUNTY LANDFILL OR TO A SITE WITH AN ACTIVE GRADING PERMIT AND THE ABILITY TO ACCEPT THE MATERIAL IN COMPLIANCE WITH THE CITY'S LIP SECTION 8.3. A NOTE SHALL BE PLACED ON THE PROJECT THAT ADDRESSES THE CONDITION.

IRRIGATION NOTES:

SEE IRRIGATION WATER ANALYSIS CHART AND HYDROZONE ON SHEET L3.2.

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Irrigation Design and Consulting
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38730 Sky Canyon Drive, Suite C
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CITY OF MALIBU
PLANNING DEPARTMENT
CITY BIOLOGIST REVIEW
PLANNING CASE NO. CDP 11-027
DATE
INITIALS

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Rev	Date	Issue
	01.26.18	Planning Submittal

LICENSED LANDSCAPE ARCHITECT
PAMELA BURTON
01/26/18
Renewal Date
01/26/18
Date
STATE OF CALIFORNIA

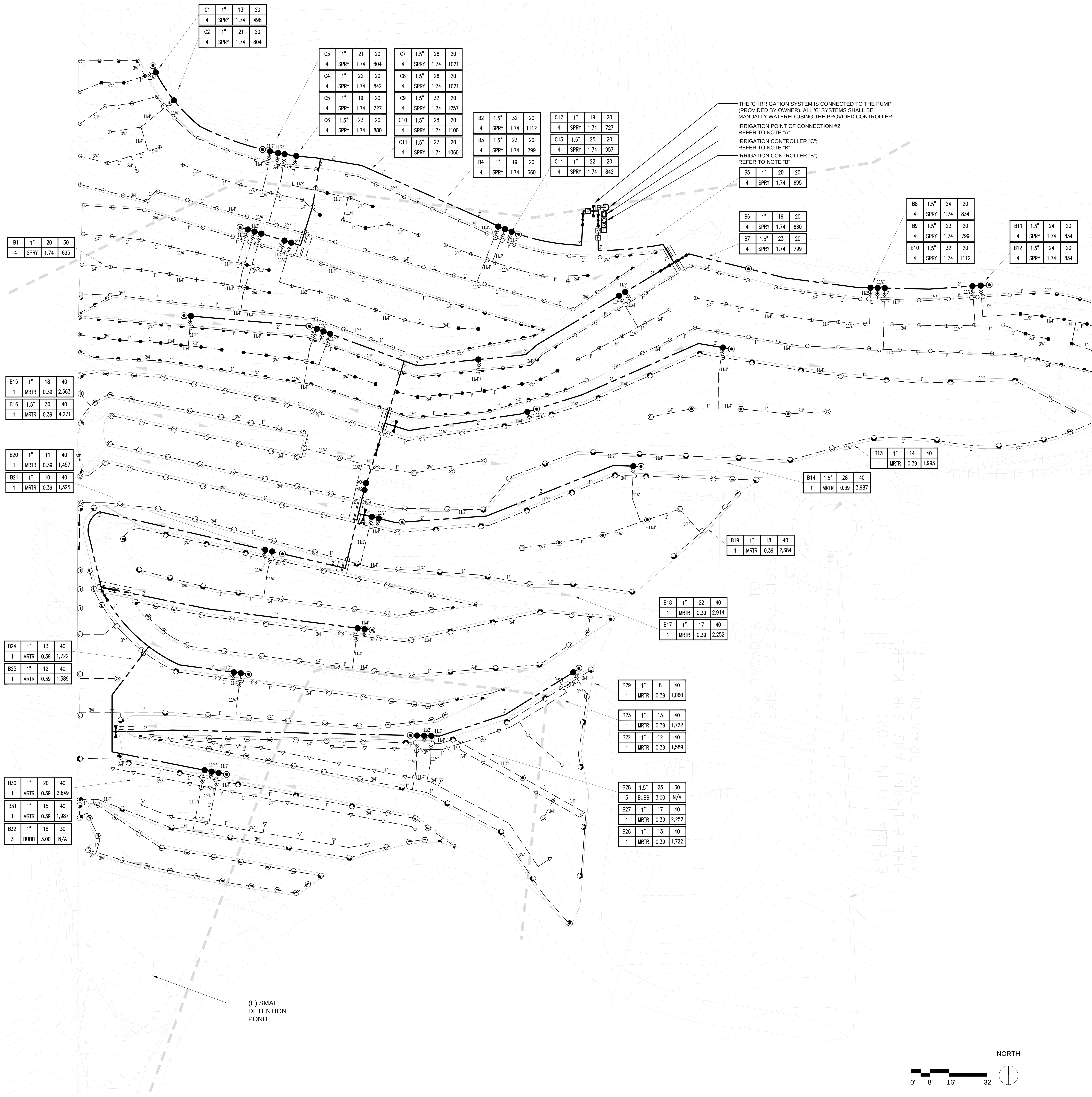
PALMS OF MALIBU RANCH
NEW MAIN HOUSE
33603 Pacific Coast Highway
Malibu, CA 90265

SITE PLAN

L1.0

DATE: 01.26.18
SCALE: AS NOTED

DRWN BY: KF/CR
CHKD BY: MSM



NORTH

0' 8' 16' 32

NORTH

SHEET KEY
NTS

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WATER PRESSURE LOSS CALCULATIONS

WATER METER NUMBER		WATER METER SIZE (Inches)	
HYDRAULIC GRADE LINE (FT)	477	WATER METER ELEVATION (FT)	384
ELEVATION DIFFERENCE (FT)	93	STATIC PRESSURE (PSI)	40
REMOTE CONTROL VALVE #	C1	REMOTE CONTROL VALVE SIZE (In.)	1.00
R.C.V. DEMAND (GPM)	13	TOTAL DEMAND (GPM)	13
HIGHEST HEAD SERVED (FT)	408	STATIC PRESSURE AT HIGHEST HEAD	29.9

sweeney + associates — PRESSURE LOSS CALCULATION IS PROVIDED FOR THIS PROJECT BY SWEENEY & ASSOCIATES, INC. UNAUTHORIZED USE BY ANY OTHER PERSON, COMPANY OR PROJECT IS FORBIDDEN WITHOUT WRITTEN PERMISSION.

SIZE (Inches)	DESCRIPTION	FLOW	#	LOSS	
2.00	BACKFLOW PREVENTER (R/P TYPE)	13	3	12.00	PSI
2.00	FILTRATION (WYE FILTER)	13	4	0.20	PSI
2.00	BFD ASSEMBLY PIPING (BRASS W/ 4 ELLS)	13	6	0.13	PSI
2.00	MASTER CONTROL VALVE	13	7	0.53	PSI
2.00	FLOW SENSOR	13	8	1.00	PSI
2.50	ISOLATION VALVES (BALL TYPE)	13	9	1.00	PSI
2.50	220 FEET OF MAINLINE: CL. 315 PVC	13	10	0.18	PSI
2.00	2 - 90 DEGREE ELBOWS	13	13	0.32	PSI
1.50	REMOTE CONTROL VALVE ASSEMBLY	13	14	3.00	PSI
10%	LATERAL LINE LOSSES	13	15	3.00	PSI
20%	FITTING LOSS (IN ADDITION TO ELBOWS SHOWN)	N/A	16	0.04	PSI
24.00	ELEVATION CHANGE (P.O.C. TO HIGHEST HEAD)	N/A	17	10.39	PSI

TOTAL SYSTEM PRESSURE LOSS (SUM OF #1 THRU #17)	18	31.8	PSI
PRESSURE REQUIRED AT HEAD (OPERATING PRESSURE)	19	30.0	PSI
TOTAL PRESSURE REQUIRED (SUM OF #18 AND #19)	20	61.8	PSI
STATIC WATER PRESSURE (FROM ABOVE)	21	40.3	PSI
RESIDUAL PRESSURE (SUBTRACT #20 FROM #21)	22	-21.5	PSI
SET PRV OR MCV AT (#20 PLUS 10 PSI)	23	N/A	PSI
PRESSURE BOOST, IF REQUIRED (SET TO ACHIEVE 20 PSI RESIDUAL)	24	41.5	PSI

NOTE A:
POINT OF CONNECTION (POC) #1 SHALL BE A CONNECTION TO A 4" WATER SUPPLY LINE DOWNSTREAM OF 10,000 GALLON WATER TANK. THE CONTRACTOR SHALL VERIFY THE ACTUAL LOCATION, WATER TYPE, METER SIZE AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK. MEASUREMENT OF THE STATIC (NO WATER MOVING) WATER PRESSURE IS ACCEPTABLE FOR POTABLE WATER SYSTEMS WHERE NO PUMP HAS BEEN INDICATED ON THESE PLANS. WHEN USING RECYCLED WATER, OR ON POTABLE WATER SYSTEMS REQUIRING A PUMP, ONLY THE MEASUREMENT OF DYNAMIC (WATER MOVING THROUGH THE METER) WATER PRESSURE, SHALL BE ACCEPTABLE. THE DYNAMIC WATER PRESSURE SHALL BE MEASURED AT THE MAXIMUM SYSTEM DEMAND AS INDICATED BELOW. IF ANY OF THE POC INFORMATION SHOWN ON THESE DRAWING IS FOUND TO BE DIFFERENT THAN THE ACTUAL POC INFORMATION GATHERED IN THE FIELD, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT. SHOULD THE CONTRACTOR FAIL TO VERIFY THE POC INFORMATION AS SHOWN HEREIN, ANY CHANGES REQUIRED BY LOW PRESSURE OR VOLUME SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

WATER PRESSURE AT POC:	40	PSI (STATIC / DYNAMIC)
DESIGN WATER PRESSURE:	62	PSI
MAXIMUM SYSTEM DEMAND:	13	GPM
PRESSURE BOOST REQUIRED:	42	PSI
RESIDUAL WATER PRESSURE:	20	PSI

NOTE B:
CONTROLLER "B AND C" SHALL BE OF THE BRAND, MODEL AND STATION SIZE AS INDICATED ON THE IRRIGATION MATERIALS LEGEND. THE CONTROLLER SHALL BE INSTALLED IN THE APPROXIMATE LOCATION SHOWN. THE CONTRACTOR SHALL COORDINATE THE REQUIRED ELECTRICAL POWER SUPPLY AT THIS LOCATION WITH THE OWNER'S AUTHORIZED REPRESENTATIVE. FINAL LOCATION OF CONTROLLER AND ELECTRICAL POINT OF CONNECTION SHALL BE CONFIRMED WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE C:
THESE PLANS ARE DIAGRAMMATIC, THE MAINLINE AND RELATED IRRIGATION EQUIPMENT IS SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATION OF MAINLINE AND RELATED IRRIGATION EQUIPMENT SHALL BE WITHIN PLANTER AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES, TYPICAL.

NOTE D:
CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR IN THE LANDSCAPE, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, TREES, ETC. WHEN A SLIGHT RELOCATION OF THE HEAD IS NOT SUFFICIENT TO CLEAR THE OBSTACLE, OR IF IT NEGATIVELY AFFECTS THE COVERAGE, AN ADDITIONAL HEAD SHALL BE INSTALLED TO PLACE ONE HEAD ON EITHER SIDE OF THE OBSTACLE. THE NOZZLES OF THESE TWO HEADS SHALL HAVE ARC PATTERNS THAT ADD UP TO THE ORIGINAL ARC PATTERN OF THE HEAD INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE E:
THESE PLANS ARE DIAGRAMMATIC, TREE BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN THE PAVING FOR CLARITY ONLY, THE ACTUAL LOCATIONS SHALL BE WITHIN THE PLANTER. THE TREE BUBBLERS SHALL BE ALIGNED WITH TREES AS SHOWN ON THE PLANTING PLANS, AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN

sweeney + associates
IRRIGATION DESIGN AND CONSULTING
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Rev	Date	Issue
	01.26.18	Planning Submittal

LICENSED LANDSCAPE ARCHITECT
PAMELA BURTON #1829
Signature
9/30/18
Renewal Date
01/08/18
Date
STATE OF CALIFORNIA

PALMS OF MALIBU RANCH

33603 Pacific Coast Highway
Malibu, CA 90265

IRRIGATION PLAN
AGRICULTURAL TERRACES

L3.1

DATE:
SCALE: 1/8" = 1'-0"

DRWN BY: CB
CHKD BY: DZ

IRRIGATION CONTROLLER RUN TIMES FOR ESTABLISHMENT LANDSCAPE

POC or Controller				JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	Total / Avg.
B			ETo / Month (Inches):	1.80	2.10	3.30	4.50	4.70	5.00	5.40	5.40	3.90	3.40	2.40	2.20	44.10
			ETo / Day (Inches):	0.06	0.08	0.11	0.15	0.15	0.17	0.17	0.17	0.13	0.11	0.08	0.07	0.12
			Irrigation Days / Week:	4	5	6	7	7	7	7	7	7	6	5	4	
Plant / Irrig. Type	AKc	Pr Rate	IE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	
Shrubs	0.22	0.39	0.75	4.6	4.7	5.6	6.8	6.8	7.5	7.9	7.9	5.9	5.8	5.1	5.6	Min. / Day / Zone
MP Rotators		Number of Zones:	18	82.5	85.3	100.9	121.8	123.2	135.4	141.5	141.5	105.6	103.9	91.0	100.9	Total Min. / Day
		Total GPM of Zones:	291	1,334	1,379	1,631	1,970	1,991	2,189	2,288	2,288	1,707	1,680	1,471	1,631	Total Gals. / Day
Soil Infiltration Rate			Total Gallons per Month:	23,638	27,578	43,337	59,095	61,722	65,662	70,914	70,914	51,216	44,650	31,518	28,891	Total Gals. / Mo.
(In./Hr.):	0.5		Cycles per Day:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	Round up to Min.
Trees	0.44	3.00	0.75	1.2	1.2	1.5	1.8	1.8	2.0	2.0	2.0	1.5	1.5	1.3	1.5	Min. / Day / Zone
Bubblers		Number of Zones:	2	2.4	2.5	2.9	3.5	3.6	3.9	4.1	4.1	3.1	3.0	2.6	2.9	Total Min. / Day
		Total GPM of Zones:	43	51	53	63	76	76	84	88	88	66	65	57	63	Total Gals. / Day
Soil Infiltration Rate			Total Gallons per Month:	908	1,060	1,665	2,270	2,371	2,523	2,724	2,724	1,968	1,715	1,211	1,110	Total Gals. / Mo.
(In./Hr.):	0.5		Cycles per Day:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	Round up to Min.
Shrubs	0.22	1.74	0.75	1.0	1.1	1.3	1.5	1.5	1.7	1.8	1.8	1.3	1.3	1.1	1.3	Min. / Day / Zone
Sprays		Number of Zones:	12	12.3	12.7	15.1	18.2	18.4	20.2	21.1	21.1	15.8	15.5	13.6	15.1	Total Min. / Day
		Total GPM of Zones:	283	291	301	356	429	434	477	499	499	372	366	321	356	Total Gals. / Day
Soil Infiltration Rate			Total Gallons per Month:	5,153	6,011	9,446	12,881	13,454	14,313	15,458	15,458	11,164	9,733	6,870	6,298	Total Gals. / Mo.
(In./Hr.):	0.5		Cycles per Day:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	Round up to Min.
		Total Number of Zones:	32	97	101	119	144	145	160	167	167	124	122	107	119	Total Min. / Day
		Total Controller Run Time in Hours:		1.62	1.68	1.98	2.39	2.42	2.66	2.78	2.78	2.07	2.04	1.79	1.98	Total Hours / Day
		Total Gallons per Month:		29,699	34,649	54,448	74,247	77,547	82,497	89,097	89,097	64,348	56,098	39,598	36,299	727,622
				JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	Yearly

IRRIGATION CONTROLLER RUN TIMES FOR ESTABLISHED LANDSCAPE

POC or Controller				JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	Total / Avg.
B			ETo / Month (Inches):	1.80	2.10	3.30	4.50	4.70	5.00	5.40	5.40	3.90	3.40	2.40	2.20	44.10
			ETo / Day (Inches):	0.06	0.08	0.11	0.15	0.15	0.17	0.17	0.17	0.13	0.11	0.08	0.07	0.12
			Irrigation Days / Week:	4	5	6	7	7	7	7	7	7	6	5	4	
Plant / Irrig. Type	AKc	Pr Rate	IE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	
Shrubs	0.20	0.39	0.75	4.2	4.3	5.1	6.2	6.2	6.8	7.1	7.1	5.3	5.2	4.6	5.1	Min. / Day / Zone
MP Rotators		Number of Zones:	18	75.0	77.5	91.7	110.8	112.0	123.1	128.6	128.6	96.0	94.5	82.7	91.7	Total Min. / Day
		Total GPM of Zones:	291	1,213	1,254	1,483	1,791	1,810	1,990	2,080	2,080	1,552	1,528	1,337	1,483	Total Gals. / Day
Soil Infiltration Rate			Total Gallons per Month:	21,489	25,071	39,397	53,723	56,111	59,692	64,468	64,468	46,560	40,591	28,652	26,265	Total Gals. / Mo.
(In./Hr.):	0.5		Cycles per Day:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	Round up to Min.
Trees	0.40	3.00	0.75	1.1	1.1	1.3	1.6	1.6	1.8	1.9	1.9	1.4	1.4	1.2	1.3	Min. / Day / Zone
Bubblers		Number of Zones:	2	2.2	2.2	2.6	3.2	3.2	3.6	3.7	3.7	2.8	2.7	2.4	2.6	Total Min. / Day
		Total GPM of Zones:	43	47	48	57	69	70	76	80	80	60	59	51	57	Total Gals. / Day
Soil Infiltration Rate			Total Gallons per Month:	826	963	1,514	2,064	2,156	2,293	2,477	2,477	1,789	1,559	1,101	1,009	Total Gals. / Mo.
(In./Hr.):	0.5		Cycles per Day:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	Round up to Min.
Shrubs	0.20	1.74	0.75	0.9	1.0	1.1	1.4	1.4	1.5	1.6	1.6	1.2	1.2	1.0	1.1	Min. / Day / Zone
Sprays		Number of Zones:	12	11.2	11.6	13.7	16.6	16.7	18.4	19.2	19.2	14.3	14.1	12.4	13.7	Total Min. / Day
		Total GPM of Zones:	283	264	273	323	390	395	434	453	453	338	333	291	323	Total Gals. / Day
Soil Infiltration Rate			Total Gallons per Month:	4,684	5,465	8,588	11,710	12,231	13,011	14,052	14,052	10,149	8,848	6,246	5,725	Total Gals. / Mo.
(In./Hr.):	0.5		Cycles per Day:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	Round up to Min.
		Total Number of Zones:	32	88	91	108	131	132	145	152	152	113	111	97	108	Total Min. / Day
		Total Controller Run Time in Hours:		1.47	1.52	1.80	2.18	2.20	2.42	2.53	2.53	1.89	1.86	1.62	1.80	Total Hours / Day
		Total Gallons per Month:		26,999	31,499	49,498	67,497	70,497	74,997	80,997	80,997	58,498	50,998	35,999	32,999	661,475
				JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	Yearly

IRRIGATION CONTROLLER RUN TIMES FOR ESTABLISHMENT LANDSCAPE

POC or Controller				JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	Total / Avg.
C			ETo / Month (Inches):	1.80	2.10	3.30	4.50	4.70	5.00	5.40	5.40	3.90	3.40	2.40	2.20	44.10
			ETo / Day (Inches):	0.06	0.08	0.11	0.15	0.15	0.17	0.17	0.17	0.13	0.11	0.08	0.07	0.12
			Irrigation Days / Week:	4	5	6	7	7	7	7	7	7	6	5	4	
Plant / Irrig. Type	AKc	Pr Rate	IE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	
Shrubs	0.22	1.74	0.75	1.0	1.1	1.3	1.5	1.5	1.7	1.8	1.8	1.3	1.3	1.1	1.3	Min. / Day / Zone
Sprays		Number of Zones:	14	14.4	14.9	17.6	21.2	21.5	23.6	24.7	24.7	18.4	18.1	15.9	17.6	Total Min. / Day
		Total GPM of Zones:	324	333	344	407	492	497	546	571	571	426	419	367	407	Total Gals. / Day
Soil Infiltration Rate			Total Gallons per Month:	5,899	6,882	10,815	14,748	15,403	16,386	17,697	17,697	12,781	11,143	7,865	7,210	Total Gals. / Mo.
(In./Hr.):	0.5		Cycles per Day:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	Round up to Min.
		Total Number of Zones:	14	14	15	18	21	21	24	25	25	18	18	16	18	Total Min. / Day
		Total Controller Run Time in Hours:		0.24	0.25	0.29	0.35	0.36	0.39	0.41	0.41	0.31	0.30	0.26	0.29	Total Hours / Day
		Total Gallons per Month:		5,899	6,882	10,815	14,748	15,403	16,386	17,697	17,697	12,781	11,143	7,865	7,210	144,526
				JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	Yearly

IRRIGATION CONTROLLER RUN TIMES FOR ESTABLISHED LANDSCAPE

POC or Controller				JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	Total / Avg.
C			ETo / Month (Inches):	1.80	2.10	3.30	4.50	4.70	5.00	5.40	5.40	3.90	3.40	2.40	2.20	44.10
			ETo / Day (Inches):	0.06	0.08	0.11	0.15	0.15	0.17	0.17	0.17	0.13	0.11	0.08	0.07	0.12
			Irrigation Days / Week:	4	5	6	7	7	7	7	7	7	6	5	4	
Plant / Irrig. Type	AKc	Pr Rate	IE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	
Shrubs	0.20	1.74	0.75	0.9	1.0	1.1	1.4	1.4	1.5	1.6	1.6	1.2	1.2	1.0	1.1	Min. / Day / Zone
Sprays		Number of Zones:	14	13.1	13.5	16.0	19.3	19.5	21.5	22.4	22.4	16.7	16.5	14.4	16.0	Total Min. / Day
		Total GPM of Zones:	324	303	313	370	447	452	497	519	519	387	381	334	370	Total Gals. / Day
Soil Infiltration Rate			Total Gallons per Month:	5,363	6,257	9,832	13,407	14,003	14,897	16,088	16,088	11,619	10,130	7,150	6,554	Total Gals. / Mo.
(In./Hr.):	0.5		Cycles per Day:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	Round up to Min.
		Total Number of Zones:	14	13	14	16	19	20	21	22	22	17	16	14	16	Total Min. / Day
		Total Controller Run Time in Hours:		0.22	0.23	0.27	0.32	0.33	0.36	0.37	0.37	0.28	0.27	0.24	0.27	Total Hours / Day
		Total Gallons per Month:		5,363	6,257	9,832	13,407	14,003	14,897	16,088	16,088	11,619	10,130	7,150	6,554	131,388
				JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	Yearly

MAXIMUM APPLIED WATER ALLOWANCE (MAWA) AG-IRRIGATION CONTROLLER B,C

44.1	Eto									
61,811	Landscape area including Special Landscape area/SLA (square feet)									
-	Portion of Landscape area identified as Special Landscape Area (square feet)									
	Eto		ETAF		AREA (S.F.)		CONVERSION		MAWA	
MAWA for LA	44.1	x	0.55	x	61,811	x	0.62	=	929,520	
MAWA for SLA	44.1	x	0.3	x	0	x	0.62	=	0	
Total MAWA									**929,520**	Gallons per year

HYDRO ZONE	PLANT TYPE	PLANT FACTOR (PF)	HYDROZONE AREA (HA)	PERCENTAGE OF TOTAL LS AREA	IRRIGATION EFFICIENCY	HYDROZONE ETWU
1	SHRUBS WITH MP ROTATORS	0.2	39,438	63.80%	0.75	287,550
2	SHRUBS WITH DRIP TUBING	0.2	-	0.00%	0.81	0
3	TREES WITH BUBLERS	0.4	-	0.00%	0.75	0
4	SHRUBS WITH SPRAY	0.2	22,373	36.20%	0.75	163,126
Eto	44.1	**TOTAL**	61,811	100.00%		**450,676**
						Gallons per year

MAXIMUM APPLIED WATER ALLOWANCE (MAWA) ON-SITE TOTALS CONTROLLER A,B,C

44.1	Eto									
115,365	Landscape area including Special Landscape area/SLA (square feet)									
-	Portion of Landscape area identified as Special Landscape Area (square feet)									
	Eto		ETAF		AREA (S.F.)		CONVERSION		MAWA	
MAWA for LA	44.1	x	0.55	x	115,365	x	0.62	=	1,734,870	
MAWA for SLA	44.1	x	0.3	x	0	x	0.62	=	0	
Total MAWA									**1,734,870**	Gallons per year

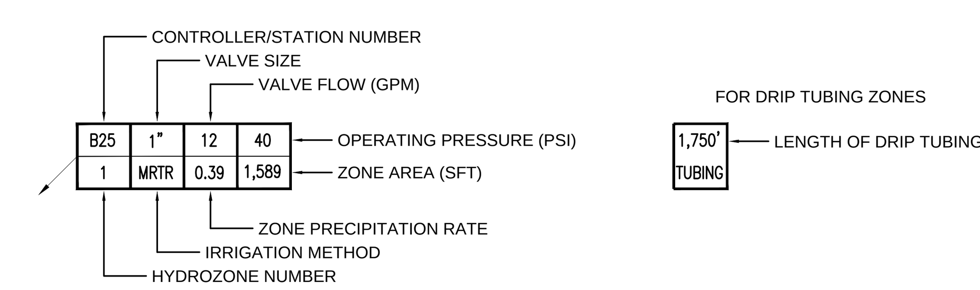
HYDRO ZONE	PLANT TYPE	PLANT FACTOR (PF)	HYDROZONE AREA (HA)	PERCENTAGE OF TOTAL LS AREA	IRRIGATION EFFICIENCY	HYDROZONE ETWU
1	SHRUBS WITH MP ROTATORS	0.2	87,600	75.93%	0.75	638,709
2	SHRUBS WITH DRIP TUBING	0.2	3,120	2.70%	0.81	21,063
3	TREES WITH BUBLERS	0.4	-	0.00%	0.75	0
4	SHRUBS WITH SPRAY	0.2	22,373	19.39%	0.75	163,126
5	WATER FEATURES	1	2,272	1.97%	1	62,121
Eto	44.1	**TOTAL**	115,365	100.00%		**885,020**
						Gallons per year

IRRIGATION NOTES

1. ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
5. THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
6. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
7. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
8. ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
9. CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.
10. ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
11. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER AND REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
12. ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
13. CONTRACTOR SHALL INSTALL ADDITIONAL CHECK VALVES TO HEADS AND LATERALS AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.
14. THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. SWEENEY AND ASSOCIATES RECOMMENDS MEASURING FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS.

IRRIGATION MATERIAL LEGEND

SYMBOL (Q T H F)	MANUFACT.	MODEL NO. / DESCRIPTION	GPM	PSI	RADIUS	PR (TRI.)	DETAIL
	HUNTER	PROS-06-PRS30-CV POP-UP BUBBLER HEAD W/ MSBN-50Q BUBBLE NOZZLE, EACH SYMBOL REPRESENTS TWO BUBBLERS PER TREE, PLACE BUBBLERS AT EDGE OF ROOTBALL ON OPPOSITE SIDES OF TREE TYPICAL.	.50 (1.0)	30	N/A	N/A	A,B
	HUNTER	PROS-12-PRS30-CV POP-UP SHRUB HEAD W/ 8Q/8T/8H/8F NOZZLES	.24, .32, .47, .97	30	8 FT	1.69 IN./HR.	A,C
	HUNTER	PROS-12-PRS30-CV POP-UP SHRUB HEAD W/ 10Q/10T/10H/10F NOZZLES	.42, .57, .88, 1.59	30	10 FT	1.77 IN./HR.	A,C
	HUNTER	PROS-12-PRS30-CV POP-UP SHRUB HEAD W/ 12Q/12T/12H/12F NOZZLES	.67, .89, 1.30, 2.70	30	12 FT	2.09 IN./HR.	A,C
	HUNTER	PROS-12-PRS30-CV POP-UP SHRUB HEAD W/ 15Q/15T/15H/15F NOZZLES	.97, 1.30, 1.86, 3.75	30	15 FT	1.85 IN./HR.	A,C
	HUNTER	PROS-12-PRS30-CV POP-UP SHRUB HEAD W/ LCS/RCS/SS530 NOZZLES	.65, 1.30	30	4X15 FT 4X30 FT	2.41 IN./HR.	A,C
	HUNTER	PROS-12-PRS40-CV POP-UP SHRUB HEAD W/ MP1000 NOZZLE	.19, .37, .75	40	14 FT	0.39 IN./HR.	A,C
	HUNTER	PROS-12-PRS40-CV POP-UP SHRUB HEAD W/ MP2000 NOZZLE	.40, .74, 1.47	40	20 FT	0.39 IN./HR.	A,C
	HUNTER	PROS-12-PRS40-CV POP-UP SHRUB HEAD W/ MP3000 NOZZLE	.86, 1.82, 3.64	40	30 FT	0.39 IN./HR.	A,C
NO SYMBOL	HUNTER	ALL SHRUB SPRAY AND TREE BUBBLER HEADS FOR THE TEPMORARY ON GRADE SYSTEM SHALL BE INSTALLED WITH UVR ON-GRADE PIPE AND SHALL BE INSTALLED ON A RISER WITH A HUNTER PROS-00 SHRUB ADAPTER AND THE NOZZLE SPECIFIED ABOVE WITH A CHECK VALVE.					C
	WILKINS	975XLS, 2" R/P BACK FLOW PREVENTION DEVICE WITH WYE STRAINER, INSTALL WITH BRASS NIPPLES, UNIONS AND FITTINGS, SIZED PER DEVICE					D
	BUCKNER	3200-200 2" NORMALLY CLOSED, BRASS MASTER CONTROL VALVE. WIRE MCV TO THE CONTROLLER USING A SEPARATE PILOT AND GROUND WIRE. INSTALL INSIDE A STANDARD RECTANGULAR VALVE BOX.					E
	RAIN MASTER	FS-150 1 1/2" PVC FLOW SENSOR, WIRE TO CONTROLLER USING TWO (2) #14UF AWG WIRES INSIDE A 1" SCH. 40 PVC (GRAY) ELECTRICAL CONDUIT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND INSIDE A STANDARD RECTANGULAR VALVE BOX.					F
	BY OWNER	GAS POWERED BOOSTER PUMP TO BE PROVIDED BY OWNER.					N/A
	NIBCO	T-113 GATE VALVE, LINE SIZE, WITH BRONZE WHEEL HANDLE UP TO 2" AND BRONZE CROSS HANDLE OVER 2" IN SIZE					G
	HUNTER	HQ-33DLRC QUICK COUPLER VALVE, INSTALL WITHIN 10" ROUND VALVE BOX					H
	HUNTER	ICV-XX1G-AS (1", 1 1/2", 2") SERIES PRESSURE REGULATED, PLASTIC REMOTE CONTROL VALVE, SIZE AS SHOWN					I
	RAIN MASTER	EGP48i EAGLE PLUS CONTROLLER WITH INTERNET COMMUNICATIONS CARD (i CENTRAL), SIZE AS SHOWN, INSTALLED WITHIN A WALL MOUNTED STEEL CABINET					J
	RAIN MASTER	EGP24i EAGLE PLUS CONTROLLER WITH INTERNET COMMUNICATIONS CARD (i CENTRAL), SIZE AS SHOWN, INSTALLED WITHIN A WALL MOUNTED STEEL CABINET AND MOUNTED ON A POST, FOR TEMPORARY PUMP SYSTEM					K
	HUNTER	MINI-CLIK RAIN SENSOR, MOUNT TO EVE OF ROOF AND WIRE TO CONTROLLER, ROUTE WIRE WITHIN CONDUIT, PAINT TO MATCH WALL COLOR					N/A
	N/A	120 VOLT ELECTRICAL POWER, PROVIDED BY ELECTRICIAN, VERIFY ACTUAL LOCATION IN FIELD					N/A
	AS APPROVED	TRANSITION BETWEEN BURIED LATERAL AND ON-GRADE LATERAL, USE TWO (2) SCH. 40 UVR 90° PVC ELBOWS (ABOVE GRADE) AND TWO (2) SCH. 40 90° PVC (WHITE) ELBOWS (BELOW GRADE) TO ADJUST FOR DEPTH OF LATERAL AND SLOPE OF FINISHED GRADE.					N/A
	AS APPROVED	UVR PVC PIPE 3/4" - 3" SCH. 40, SOLVENT WELD WITH SCH. 40 UVR PVC FITTING, AS LATERAL LINES INSTALLED ON GRADE. STAKE PIPE TO GRADE AT 8 FEET ON CENTER USING #4 REBAR J-HOOKS					C
	AS APPROVED	PVC PIPE 3/4" - 3" SCH. 40 AS LATERAL LINES 12" BELOW GRADE					L
	AS APPROVED	PVC PIPE 2" CL. 315 SOLVENT WELD AS MAINLINES 18" BELOW GRADE					L,N
	AS APPROVED	PVC PIPE SCH. 40 AS SLEEVING, 2 TIMES THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED PLACE BELOW ALL PAVING, HARDSCAPE ETC. AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE.					M
NO SYMBOL	LASCO	ALL FITTINGS USED WITH SOLVENT WELD MAINLINE PIPE SHALL BE SCH. 80 PVC FITTINGS, GREY IN COLOR, AND SIZED TO MATCH THE MAINLINE PIPE. ALL FITTINGS USED WITH SOLVENT WELD LATERAL LINE PIPE SHALL BE SCH. 40 PVC, WHITE IN COLOR, AND SIZED TO MATCH THE LATERAL LINE PIPE. ALL THREADED PVC NIPPLES SHALL BE SCH. 80 PVC PIPE WITH MOLDED THREADS.					N/A
NO SYMBOL	CHRISTY'S	ALL SOLVENT WELD CONNECTIONS FOR BOTH MAINLINE AND LATERAL LINE SHALL BE MADE USING THE TWO-STEP PROCESS OF PRIMER AND SOLVENT CEMENT. PRIMER SHALL BE LOW VOC "PURPLE PRIMER". MAINLINE SOLVENT CEMENT SHALL BE LOW VOC, "GRAY-HEAVY BODY" CEMENT. LATERAL LINE SOLVENT CEMENT SHALL BE LOW VOC, "RED HOT BLUE GLUE" CEMENT. USE DAUBERS SIZED AT LEAST ONE HALF THE SIZE OF THE LARGEST SIZE PIPE BEING JOINED.					N/A
NO SYMBOL	AS APPROVED	IRRIGATION CONTROL WIRE #14UF AWG DIRECT BURIAL (U.L. APPROVED)					,L,M,0
NO SYMBOL	3M	DBR/Y-6 DIRECT BURIAL WATER-PROOF WIRE CONNECTORS FOR USE ON ALL WIRE CONNECTIONS (U.L. APPROVED)					O
NO SYMBOL	NDS (K.B.I.)	KSC-XXX-S SWING CHECK VALVE, LATERAL LINE SIZE, INSTALL ONE (1) ON THE DOWNSTREAM SIDE OF EACH RCV WHEN THE RCV IS LOWER THAN THE SPRINKLERS, BUBBLERS OR DRIP EMITTERS. INSTALL WITHIN SPRINKLER / BUBBLER / DRIP ZONES AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.					N/A
NO SYMBOL	NDS (K.B.I.)	KC-XXX-S SPRING CHECK VALVE, LATERAL LINE SIZE, INSTALL ONE (1) ON THE DOWNSTREAM SIDE OF EACH RCV WHEN THE RCV IS HIGHER THAN THE SPRINKLERS, BUBBLERS OR DRIP EMITTERS. INSTALL WITHIN SPRINKLER / BUBBLER / DRIP ZONES AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.					N/A
NO SYMBOL	CARSON	VALVE BOXES, SIZE PER EQUIPMENT LEGEND, WITH T-COVER LIDS AND CAPTIVE BOLT AND LOC-KIT. FOR ROUND AIR RELIEF VALVES USE MODEL 708, 10" ROUND SHALL BE MODEL 910, 12" STANDARD RECTANGULAR. SHALL BE MODEL 1419, 12" JUMBO RECT. SHALL BE MODEL 1220, SUPER JUMBO SHALL BE MODEL 1324, AND SUPER JUMBO XL SHALL BE MODEL 1730. VALVE BOXES SHALL HAVE GREEN HDPE BODY AND GREEN LIDS IN TURF, GREEN LIDS IN SHRUB BEDS, AND TAN LIDS IN ROCK MULCH. FOR USE IN NON-VEHICULAR TRAFFIC SITUATIONS ONLY. DO NOT INSTALL IN CONCRETE OR ASPHALT.					N/A



HYDROZONE DESCRIPTION CHART	
NUMBER	DESCRIPTION OF THE HYDROZONE
1	LOW WATER USE SHRUBS WITH MP ROTATORS
2	LOW WATER USE SHRUBS WITH DRIP TUBING
3	MODERATE WATER USE TREES WITH BUBBLERS
4	LOW WATER USE SHRUBS WITH SPRAY HEADS
5	SHRUBS WITH ROTOR HEADS

IRRIGATION METHOD DESCRIPTION CHART	
NUMBER	DESCRIPTION OF THE IRRIGATION METHOD
SPRY	OVERHEAD SPRAY HEADS
BUBB	BUBBLERS
DRIP	DRIP TUBING
MRTR	OVERHEAD MP ROTATORS

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Rev	Date	Issue
	01.26.18	Planning Submittal

PALMS OF MALIBU RANCH

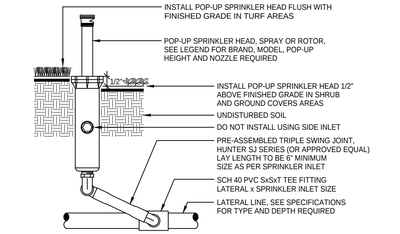
33603 Pacific Coast Highway
Malibu, CA 90265

IRRIGATION LEGEND

L3.2

DATE:
SCALE: 1/8" = 1'-0"

DRWN BY: CB
CHKD BY: DZ



NOTE:
INSTALL SPRINKLER HEADS 6" FROM PAVING EDGE IN SHRUB AND GROUND COVER AREAS.
INSTALL SPRINKLER HEADS 12" FROM THE FACE OF BUILDING WALLS OR WINDOWS.
INSTALL SPRINKLER HEADS 4" FROM PAVING EDGE IN TURF AREAS.

INSTALL SPRINKLER HEADS PLUMB. ADJUST SPRAYS OR NOZZLE STREAM TO COVER LANDSCAPE AREA WITHOUT OVERSPRAY ONTO PAVING, FENCES, WALLS OR BUILDINGS.

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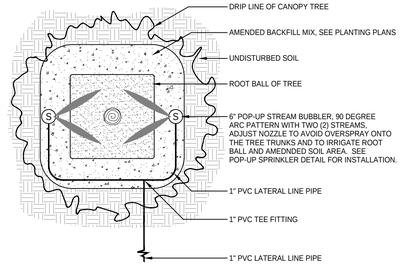
(A) POP-UP HEAD



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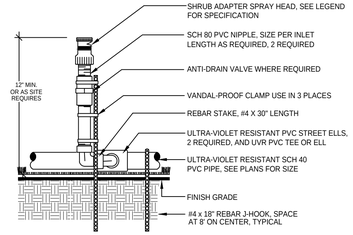
(B) TREE BUBBLER LAYOUT



NOTE:
ALL PIPE INSTALLED ON GRADE TO BE SCH 40 ULTRA-VIOLET RESISTANT PVC.
SPRINKLER HEAD ASSEMBLY TO BE INSTALLED PLUMB.

DO NOT INSTALL SPRINKLER HEAD ASSEMBLY CLOSER THAN 36" TO SIDEWALKS, CURBS, DRIVEWAYS OR PEDESTRIAN AREAS.

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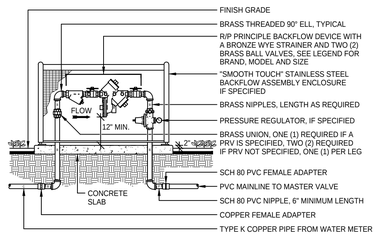
(C) HEAD ON RISER



NOTE:
INSTALL THE PRESSURE REGULATOR ONLY IF IT IS SPECIFIED IN THE LEGEND.
BACKFLOW DEVICE OUTLET SHALL BE INSTALLED A MINIMUM OF 12" ABOVE FINISHED GRADE.
ASSEMBLY PIPING AND FITTINGS SHALL BE SIZED EQUAL TO THE SIZE OF THE BACKFLOW PREVENTION DEVICE
USE AN APPROVED, NON-HARDENING, TEFLON ASSEMBLY PASTE ON ALL THREADED FITTINGS.
CONCRETE SLAB SHALL BE A MINIMUM OF 4" THICK, 18" WIDE AND EXTEND AT LEAST 8" PAST THE BACKFLOW ASSEMBLY PIPING, OR BE THE SIZE REQUIRED BY THE ENCLOSURE MANUFACTURER.

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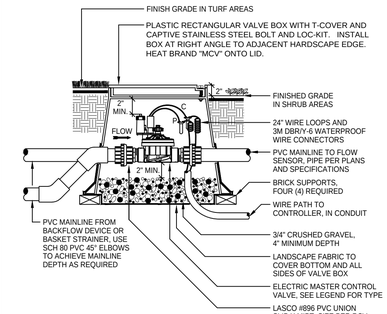
(D) BACKFLOW DEVICE



NOTE:
USE STANDARD OPENINGS PROVIDED IN VALVE BOX FOR PIPE, DO NOT CUT BOX.

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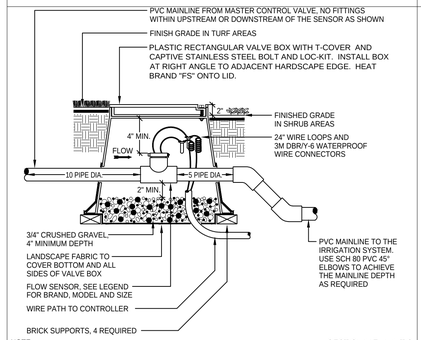
(E) MASTER CONTROL VALVE



NOTE:
USE STANDARD OPENINGS PROVIDED IN VALVE BOX FOR PIPE, DO NOT CUT BOX.

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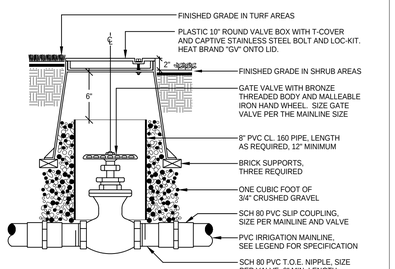
(F) FLOW SENSOR



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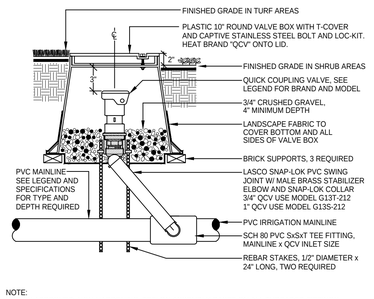
(G) GATE VALVE



NOTE:
USE AN APPROVED, NON-HARDENING, TEFLON ASSEMBLY PASTE ON ALL THREADED FITTINGS.

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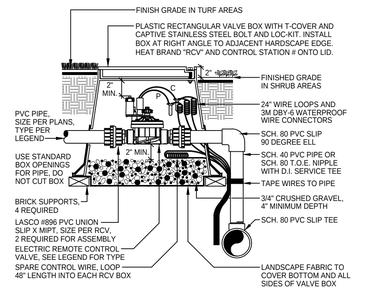
(H) QUICK COUPLER VALVE



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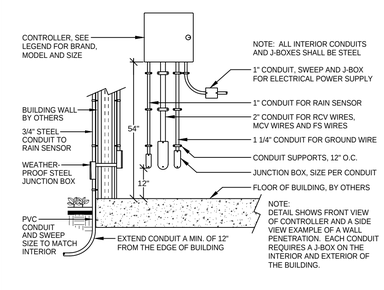
(I) REMOTE CONTROL VALVE



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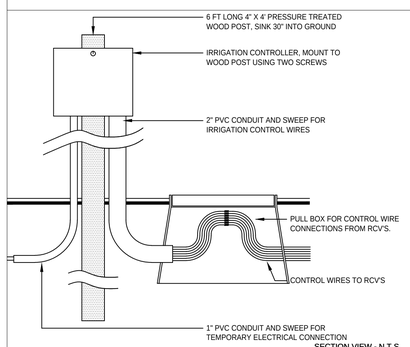
(J) CONTROLLER



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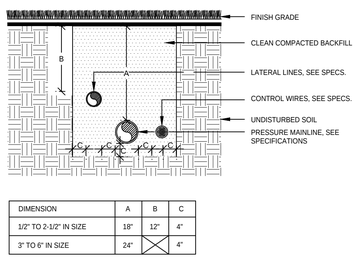
(K) CONTROLLER ON POST INSTALLATION



DIMENSION	A	B	C
1/2" TO 2-1/2" IN SIZE	18"	12"	4"
3" TO 6" IN SIZE	24"		4"

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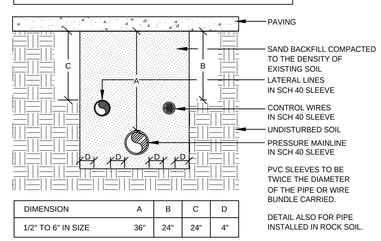
(L) PIPE INSTALLATION

NOTE:
SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.



DIMENSION	A	B	C	D
1/2" TO 6" IN SIZE	36"	24"	24"	4"

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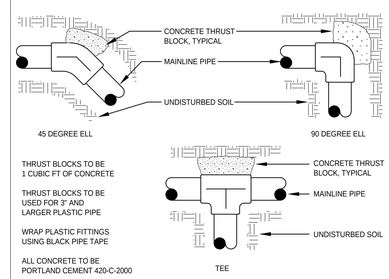
(M) SLEEVE INSTALLATION



SECTION VIEW - N.T.S.
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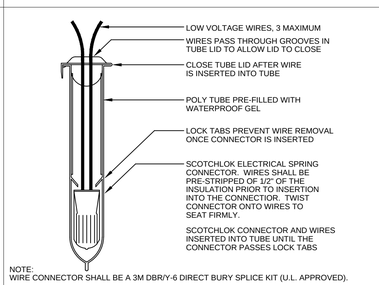
(N) THRUST BLOCK



NOTE:
WIRE CONNECTOR SHALL BE A 3M DBR/Y-6 DIRECT BURY SPLICE KIT (U.L. APPROVED).

KIT SHALL INCLUDE A SCOTCHLOK Y SPRING CONNECTOR, A POLYPROPYLENE TUBE AND A WATERPROOF SEALING GEL. TUBE SHALL BE SUPPLIED PREFILLED WITH GEL.

DIRECT BURY SPLICE KIT SHALL BE USED TO ELECTRICALLY CONNECT 2 - 3 #14 OR 2 #12 PRE-STRIPPED COPPER WIRES. LARGER WIRES OR GREATER QUANTITIES OF WIRES SHALL REQUIRE A LARGER APPROVED WIRE CONNECTION.

SECTION VIEW - N.T.S.
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(O) WIRE CONNECTION

BURTON & COMPANY
Pamela Burton & Company
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1430 Olympic Boulevard
Santa Monica, California 90404
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Architect
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lauren@coffmandesign.com

Structural and Civil Engineer
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Irrigation Design and Consulting
Sweeney + Associates
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Murrieta, CA 92563
(951) 461-6830 T

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Rev	Date	Issue
	01.26.18	Planning Submittal

PALMS OF MALIBU RANCH

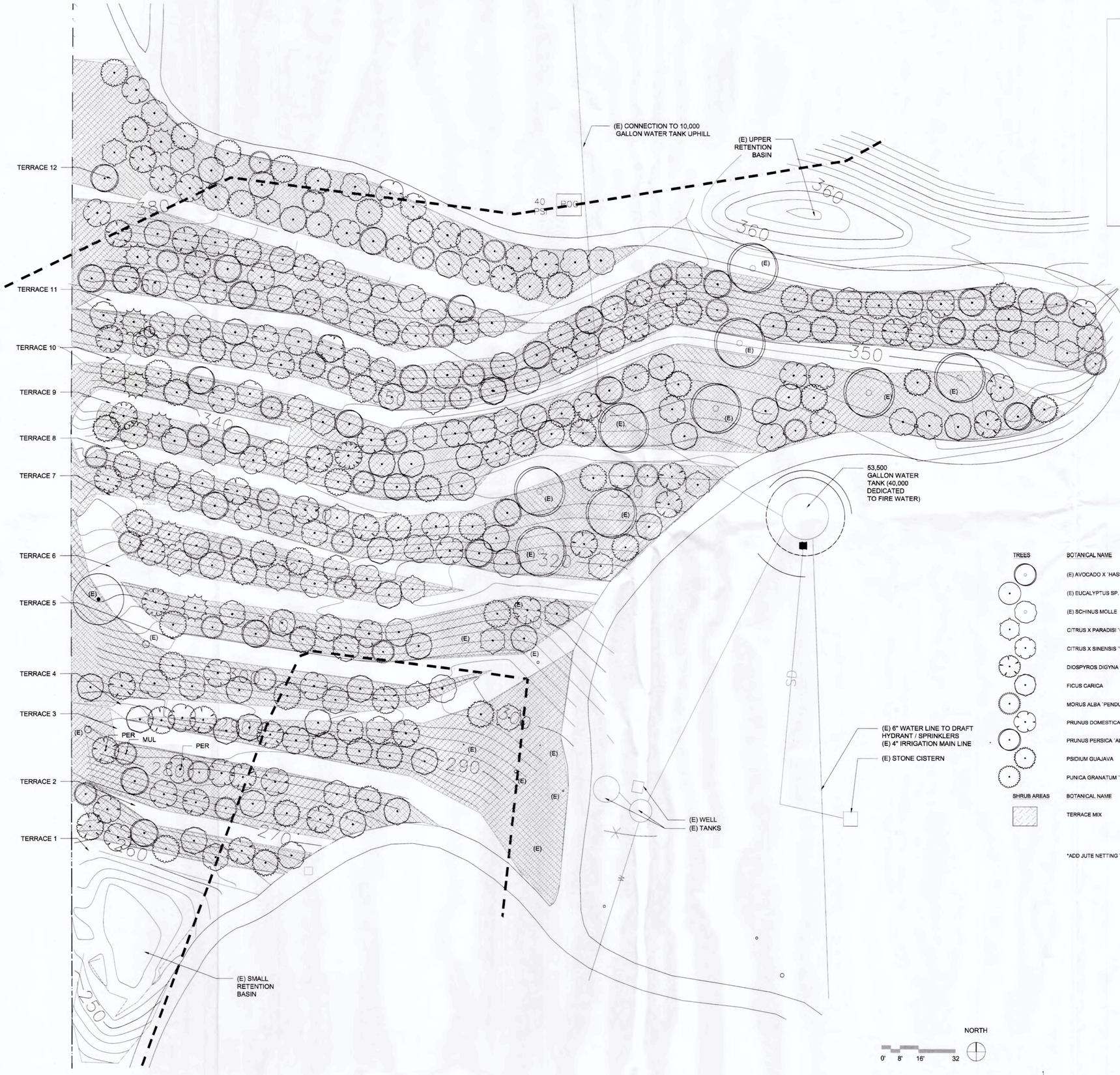
33603 Pacific Coast Highway
Malibu, CA 90265

IRRIGATION DETAILS

L3.3

DATE:
SCALE: 1/8" = 1'-0"

DRWN BY: CB
CHKD BY: DZ



SHEET KEY
NTS

TREES	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS
	(E) AVOCADO X 'HASS'	HASS AVOCADO	-	
	(E) EUCALYPTUS SP.	EUCALYPTUS	-	
	(E) SCHINUS MOLLE	CALIFORNIA PEPPER	-	
	CITRUS X PARADISI 'OROBLANCO'	OROBLANCO GRAPEFRUIT	15 GAL	M
	CITRUS X SINENSIS 'VALENCIA'	VALENCIA SWEET ORANGE	15 GAL	M
	DIOSPYROS DIGYNA 'FUYU'	FUYU PERSIMMON	15 GAL	M
	FICUS CARICA	COMMON FIG	15 GAL	M
	MORUS ALBA 'PENDULA'	WEEPING MULBERRY	15 GAL	M
	PRUNUS DOMESTICA 'SANTA ROSA'	SANTA ROSA PLUM	15 GAL	M
	PRUNUS PERSICA 'ALBERTA'	ALBERTA PEACH	15 GAL	M
	PSIDIUM GUAJAVA	GUAVA	15 GAL	M
	PUNICA GRANATUM 'WONDERFUL'	WONDERFUL POMEGRANATE	15 GAL	M
SHRUB AREAS	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS
	TERRACE MIX	SEE MIX #1 AND MIX #2 (SHEET L4.5)	MIX	

*ADD JUTE NETTING TO THESE AREAS TO HOLD SOILS AND SEED STOCK IN PLACE

CITY OF MALIBU
PLANNING DEPARTMENT
CITY BIOLOGIST APPROVAL
DATE 7/18/18
PLANNING CASE NO. CDP 16-025
SIGNATURE
PRINT NAME CHANRAKO
Any changes to the approved plans shall be submitted to the City Biologist for review and approval prior to implementation. This action does not constitute final approval by the Environmental and Community Development Department.

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Rev	Date	Issue
	01.26.18	Planning Submittal

LICENSED LANDSCAPE ARCHITECT
PAMELA BURTON
No. 2464
9/30/18
Renewal Date
01/26/18
Date
STATE OF CALIFORNIA

PALMS OF MALIBU RANCH
NEW MAIN HOUSE

33603 Pacific Coast Highway
Malibu, CA 90265

PLANTING PLAN -
AGRICULTURAL TERRACES

L4.1

DATE: 01.26.18
SCALE: 1/16" = 1'-0"

DRWN BY: CR
CHKD BY: MSM

PLANTING NOTES:

1. Remove all weeds including Nicotiana, Castor Bean, and Tumbleweeds.
2. Examine existing jute mesh and restore as necessary.
3. Fertilize planting pits with 2/3 horse manure and 1/3 native soil mix.
4. All temporary irrigation shall be above ground and shall be removed upon establishment of native plantings.

WATER QUALITY MITIGATION PLAN FOR TERRACES (WQMP-ag)

1. Minimize erosion and prevent excessive sediment and pollutants from adversely impacting water quality by implementing Best Management Practices such as:

   a. Diversions: The owner is planting on sloped terraces which have been designed to direct water run-off from terrace to terrace and to stay on the owner's property. Excessive water from storms will be captured in the retention basin located below the last terrace. This water flow is currently represented on the Civil Site Plan. The terraces are designed to capture as much water as possible, so there will be minimal water run-off.
   b. Sediment Basins: There is a retention basin currently located on the site plan for catching sediment and excessive water from storms.
   c. Terraces: The site is terraced and planted in conjunction with the natural grades. The Critical Area of Planting is on the sloped areas of the terraces. The terraces have been reviewed by Public Works as BMP erosion control measures and are currently shown on the Civil Site Plan. The terraces are sloped slightly back toward the uphill slope to catch and hold rainwater runoff, thereby adding moisture to the base of the planted slope.
   d. Critical Area Planting: The critical planting area is the sloped face of each terrace. The planting design provides a diverse array of material to stabilize the slope and provide beneficial nutrients to the soil to aid in fruit production. Plant material includes a combination of fruit trees for shade, native Santa Monica Mountains plants.
   e. Crop Residue Use: The planted area is designed to use of as much residue as possible, such as using it for mulch, etc. There is no pruning of the fruit trees from their inception, which allows them to "form healthy and efficient branch patterns that follow their natural inclination". Additional crop residue will be used as mulch on the flat walking terraces.
   f. Conservation Cover: The terraced slopes are planted with a native Santa Monica Mountains hydroseed mix, along with 1 gallon plants at 60" on center to stabilize the slopes, add nutrients to the soil and improve the soil's capacity to retain moisture.
   g. Filter Strips: These are not necessary as there will not be any animals in this area, or use of pesticides or other pollutants.

2) Minimize The Release Of Pesticides by Implementing Integrated Pest Management (IPM) strategies such as:

   a. There will not be any pesticides used on the terraces. The variety of crops maintains an ecosystem that protects against the loss of an entire plant type due to one pest. The mixed crop of trees, wild flowers and deep rooted native plants combines to provide a healthy soil rich in micro-organisms. Pesticides and chemicals are avoided to protect the earthworms, bacteria and fungi living in the soil.

3) Minimize Nutrient Loss by Developing and Implementing Comprehensive Nutrient Management Plans such as :

   a. The variety of plants and trees forms an ecosystem. Each plant species contributes to the overall planted area: some plants have tap roots that draw nutrients up from deep in the earth, some are nitrogen fixing legumes, some attract beneficial insects, and some repel harmful insects. When grouped together, the plants and trees form a mutually beneficial arrangement.

4) Reduce Water Loss to Evaporation, Deep Percolation and Runoff, remove leachate efficiently and minimize erosion from applied water by implementing a managed irrigation system that includes the following:

   a. Irrigation Scheduling: An efficient irrigation system is designed to provide long term water to the main crop of fruit trees and shorter term irrigation to the understory native plantings. Please see Irrigation documents. As the trees provide shade and the lower plants become more mature with deeper roots, the irrigation will be reduced.
   b. Efficient Application of Irrigation Water: The irrigation design meets all local and state water efficiency standards. Please see Irrigation documents.
   c. Efficient Transport of Irrigation Water: Please see irrigation documents.
   d. Use of runoff or tailwater: Runoff will be minimal given the dense planting design.
   e. Management of drainage water: Terrace drainage will be minimal given the grading design that directs water back to the next terrace and to the base of the each slope for conservation of water in planting areas.

5) Reduce Physical Disturbance of Soil and Vegetation for Confined Animal Facility Development:

   a. Not applicable.

TERRACE MIX

PLANT NAME	COMMON NAME	CONT.	SPACING	% AREA	WUCOLS
MIX #1: PERMACULTURE SHRUB MIX					
Eriogonum fasciculatum	Buckwheat	1 GAL	60" o.c.	10%	VL
Mimulus aurantiacus longiflorus	Monkey Flower	1 GAL	60" o.c.	10%	L
Penstemon spectabilis	Showy Penstemon	1 GAL	60" o.c.	10%	M
Achillea millefolium 'Calistoga'	Grey-Leaved Yarrow	1 GAL	60" o.c.	10%	L
Achillea millefolium 'Island Pink'	Island Pink Yarrow	1 GAL	60" o.c.	5%	L
Encelia californica	California Brittlebrush	1 GAL	60" o.c.	10%	VL
Artemesia californica	California Sagebrush	1 GAL	60" o.c.	5%	L

PLANT NAME	COMMON NAME	BULK #'s/ACRE	MIN % PLS	WUCOLS
MIX #2: SANTA MONICA MOUNTAIN HYDROSEED MIX (62,580 SF)				
Artemisia californica	California Sagebrush	2.00	10	L
Bromus carinatus	California Brome	4.00	85	L
Bromus carinatus 'Cucamonga'	Cucamonga Brome	6.00	85	L
Camissoniopsis cheiranthifolia	Beach Evening Primrose	1.00	80	L
Clarkia purpurea	Winecup Fairyfan	1.00	80	X
Encelia californica	Bush Sunflower	3.00	25	VL
Eriogonum cinerum	Coastal Buckwheat	2.00	25	VL
Eriogonum fasciculatum	Wild Buckwheat	7.00	10	VL
Eriophyllum confertiflorum	Golden Yarrow	3.00	25	VL
Eschscholzia californica	California Poppy	2.00	85	L
Lupinus succulentus	Arroyo Lupine	5.00	90	L
Melica imperfecta	Small Flowered Melica	2.00	70	VL
Mimulus aurantiacus longiflorus	Monkey Flower	2.00	20	L
Penstemon spectabilis	Showy Penstemon	1.00	80	M
Stipa lepida	Foothill Needlegrass	2.00	65	L
Stipa pulchra	Purple Needlegrass	4.00	75	VL
Verbena lasiostachys	Western Verbena	1.00	50	L

CITY OF MALIBU
PLANNING DEPARTMENT
CITY BIOLOGIST APPROVAL
DATE 9/18/18
PLANNING CASE NO. 09-016-025
SIGNATURE
PRINT NAME
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Rev	Date	Issue
	01.26.18	Planning Submittal

LICENSED LANDSCAPE ARCHITECT
PAMELA BURTON
9/20/18
Renewal Date
01/08/19
Date
STATE OF CALIFORNIA

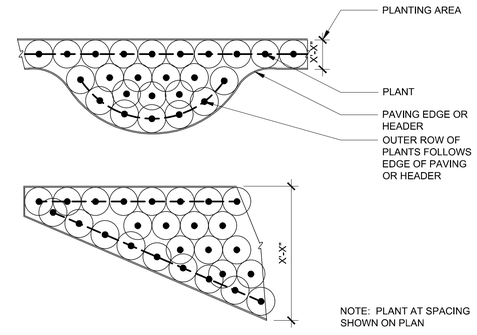
PALMS OF MALIBU RANCH
NEW MAIN HOUSE
33603 Pacific Coast Highway
Malibu, CA 90265

PLANTING NOTES

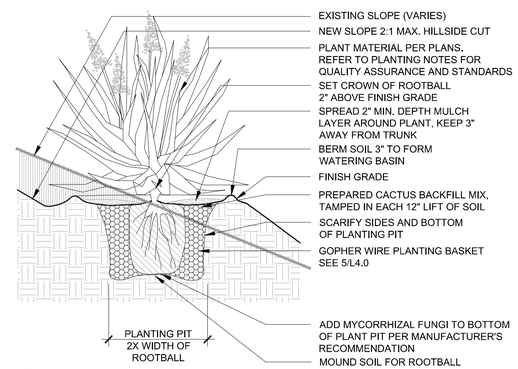
L4.2

DATE: 01.26.18
SCALE: N/A

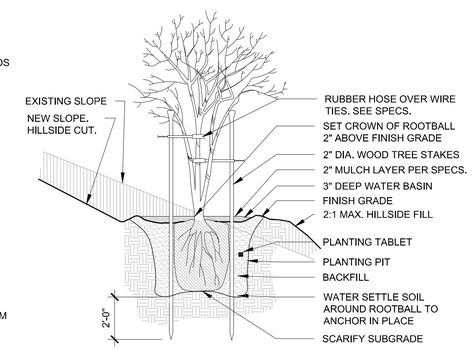
DRWN BY: CR
CHKD BY: MSM



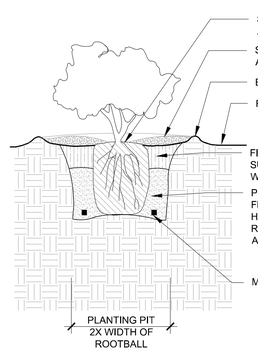
4 PLANTING IRREGULARLY SHAPED AREAS
1/2" = 1'-0"



6 SHRUB PLANTING ON SLOPE
3/4" = 1'-0"



2 TREE ROOTBALL DOUBLE-STAKE ON SLOPE
3/8" = 1'-0"



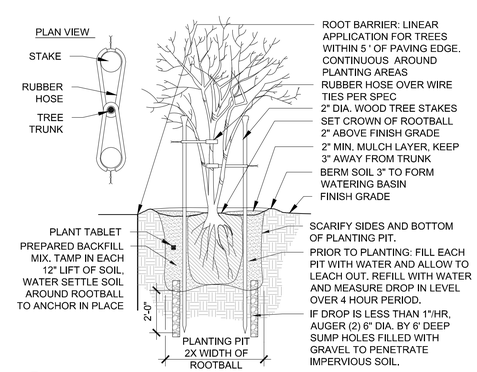
5 SHRUB PLANTING
3/4" = 1'-0"

BACKFILL AMENDMENTS

A) USE NATIVE TOP SOIL FOR BACKFILL MIX. THE NATIVE SOIL SHOULD BE SOFT AND FRIABLE. LARGE ROCKS AND CLODS ARE TO BE REMOVED FROM BACKFILL.
B) USE A BACKFILL MIX OF 1/3 COMPOSTED OR NITROLIZED FOREST HUMUS TO 2/3 TOPSOIL TO BE BLENDED OUTSIDE OF PLANTING PIT.
C) MYCO PAK (MYCORRHIZAL INOCULUM) IN THE BOTTOM OF THE HOLEPER MANUFACTURER'S RECOMMENDATIONS.
APPLICATION RATES: 4" POT - 1/2 PAK
1 GAL - 1 PAK
5 GAL - 3 PAKS
15 GAL - 8 PAKS
24" BOX - 12 PAKS
36" BOX - 18 PAKS
48" BOX - 22 PAKS

NOTES

A) PLANT PIT TO BE DUG TWICE AS WIDE AS PLANT CONTAINER.
B) PRIOR TO ANY BACKFILLING, FILL PLANTING PIT WITH WATER AND ALLOW TO PERCOLATE INTO SUBSOIL
C) FORM WATERING BASIN USING REMAINING BACKFILL AND NATIVE SOIL
D) WATER THOROUGHLY, FILLING THE BASIN WITH WATER AND SPRINKLING AROUND TO SETTLE BACKFILL, MULCH AND BERM.
E) ALLOW TO SOAK IN AND REPEAT.



1 TREE PLANTING AND STAKING
3/8" = 1'-0"

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Rev	Date	Issue
	1.26.2018	Planning Submittal

PALMS OF MALIBU RANCH
NEW MAIN HOUSE
33603 Pacific Coast Highway
Malibu, CA 90265

PLANTING DETAILS

L6.1

DATE: 01.26.18
SCALE: AS NOTED
IF PAPER SIZE IS NOT 30" X 42", THEN WRITTEN SCALE WILL NOT BE AS NOTED.

DRWN BY: RW
CHKD BY: MSM

City of Malibu

23825 Stuart Ranch Rd., Malibu, California CA 90265-4804
(310) 456-2489 FAX (310) 456-7650

BIOLOGY REVIEW REFERRAL SHEET

TO: City of Malibu Biologist **DATE:** 5/20/2016

FROM: City of Malibu Planning Department

PROJECT NUMBER: CDP 16-025

JOB ADDRESS: 33603 PACIFIC COAST HWY

APPLICANT / CONTACT: Lauren Coffman

APPLICANT ADDRESS: 21781 Ventura
Woodland Hills, CA 91364

APPLICANT PHONE #: (818) 980-9989

APPLICANT FAX #:

APPLICANT EMAIL: lauren@coffmandesign.com

PLANNER: Richard Mollica

PROJECT DESCRIPTION: NSFR

TO: Malibu Planning Department and/or Applicant

FROM: City Biologist, Dave Crawford

____ **The project review package is INCOMPLETE and; CANNOT proceed through Final Planning Review until corrections and conditions from Biological Review are incorporated into the proposed project design** (See Attached).

X **The project is APPROVED, consistent with City Goals & Policies associated with the protection of biological resources and CAN proceed through the Planning process.**

____ **The project may have the potential to significantly impact the following resources, either individually or cumulatively: Sensitive Species or Habitat, Watersheds, and/or Shoreline Resources and therefore Requires Review by the Environmental Review Board (ERB).**

Signature Date 9/18/18

Additional requirements/conditions may be imposed upon review of plan revision

Contact Information:
Dave Crawford, City Biologist, dcrawford@malibucity.org, (310) 456-2489, extension 277

Rev 05/29/2018

ATTACHMENT 3

City of Malibu

Biology • Planning Department
23825 Stuart Ranch Road · Malibu, California · 90265-4861
Phone (310) 456-2489 · Fax (310) 456-3356 · www.malibucity.org

BIOLOGY REVIEW SHEET

PROJECT INFORMATION

Applicant: (name and email)	Lauren Coffman lauren@coffmandesign.com	
Project Address:	**33603 Pacific Coast Highway** Malibu, CA 90265	
Planning Case No.:	CDP 16-025	
Project Description:	NSFR – add Landscaping with two new ponds and erosion grading	
Date of Review:	September 18, 2018	
Reviewer:	Dave Crawford	Signature:
Contact Information:	Phone: (310) 456-2489 ext 277	Email: dcrawford@malibucity.org

SUBMITTAL INFORMATION

Site Plan:	2/26/18
Site Survey:	2/26/18
Planting Plan:	2/26/18
Irrigation/Hydrozone/ water budget Plan:	2/26/18
Grading Plan:	2/26/18
OWTS Plan:	
Bio Assessment:	
Bio Inventory:	
Native Tree Survey:	
Native Tree Protection Plan:	
Miscellaneous:	
Previous Reviews:	APR approval 1/3/17

REVIEW FINDINGS

Review Status:	☐	**INCOMPLETE**: Additional information and/or a response to the listed review comments is required.
	☒	**APPROVED**: The project has been approved with regards to biological impacts.
	☐	**NOT APPROVED**: The proposed project does not conform to the requirements of the MMC and/or LCP.
	☐	**ERB**: This project has the potential to impact ESHA and may require review by the Environmental Review Board pursuant to LIP Section 4.4.4
Environmental Review Board (ERB):		

Recycled Paper

DISCUSSION:

1. The landscaping, terracing, and detention basin portion of this project was previously reviewed and approved as an Administrative Plan Review (APR) by Biology in January 2017. Since that time it was determined that this portion of the project must be included in the open Coastal Development Permit (CDP). As such, the APR application was closed and the proposed landscaping, ponds (basins) and erosion control grading was added to CDP 16-025. Therefore, the following conditions of approval listed below are the same as the APR approval from January.

   All other previously outlined conditions of approval under the APR or CDP remain in effect. In the event of conflicting conditions, the more restrictive shall apply.

1. The Maximum Applied Water Allowance (MAWA) for this project totals 1,734,870 gallons per year (gpy). The Estimated Applied Water Use (EAWU) totals 885,8200 gpy. Therefore, the project meets the Landscape Water Conservation Ordinance Requirements.

RECOMMENDATIONS:

The project is recommended for **APPROVAL** with the following conditions:

A. Prior to installation of any landscaping, the applicant shall obtain a plumbing permit for the proposed irrigation system from the Building Safety Division.

B. Prior to, or at the time of a Planning Final Inspection, the property owner/applicant shall submit to the Case Planner a copy of the plumbing permit for the irrigation system installation that has been signed off by the Building Safety Division.

C. Prior to final plan check approval, provide landscape water use approval from the Los Angeles County Waterworks District No. 29. For approval contact:

Nima Parsa
Address: 23533 West Civic Center Way, Malibu, CA 90265-4804
Email: Nparsa@DPW.LACOUNTY.GOV (preferred)
Phone: (310) 317-1389

Please note this action may require several weeks. As such, the applicant should submit their approved landscape plans to DPW as soon as feasible in order to avoid a delay at plan check.

D. All elements of the submitted WQMP-ag plan shall be implemented.

E. Vegetation forming a view impermeable condition (hedge), serving the same function as a fence or wall, occurring within the side or rear yard setback shall be maintained at or below six feet in height. View impermeable hedges occurring within the front yard setback serving the same function as a fence or wall shall be maintained at or below 42 inches in height.

F. Vegetation shall be situated on the property so as not to obstruct the primary view from private property at any given time (given consideration of its future growth).

G. Invasive plant species, as determined by the City of Malibu, are prohibited.

H. No non-native plant species shall be approved greater than 50 feet from the residential structure.

I. The landscape plan shall prohibit the use of building materials treated with toxic compounds such as creosote and copper arsenate.

J. Up-lighting of landscaping is prohibited

K. Necessary boundary fencing of any single area exceeding ½ acre shall be of an open rail-type design with a wooden rail at the top (instead of wire), be less than 40 inches high, and have a space greater than 14 inches between the ground and the bottom post or wire. A split rail design that blends with the natural environment is preferred.

L. Delete, or replace with true native species, any cultivars or hybrids in areas greater than 50 feet from the primary residence. These are not considered native plants.

PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY, the City Biologist shall inspect the project site and determine that all planning conditions to protect natural resources are in compliance with the approved plans.

-o0o-

If you have any questions regarding the above requirements, please contact the City Biologist office at your earliest convenience.

cc: Planning Project file
Planning Department

City of Malibu

23825 Stuart Ranch Rd., Malibu, California CA 90265-4861
(310) 456-2489 FAX (310) 317-1950 www.malibucity.org

ENVIRONMENTAL HEALTH REVIEW
REFERRAL SHEET

TO: City of Malibu Environmental Health Administrator DATE: ~~5/20/2016~~ 6/30/2016

FROM: City of Malibu Planning Department

PROJECT NUMBER:	CDP 16-025
JOB ADDRESS:	33603 PACIFIC COAST HWY
APPLICANT / CONTACT:	Lauren Coffman
APPLICANT ADDRESS:	21781 Ventura Woodland Hills, CA 91364
APPLICANT PHONE #:	(818) 980-9989
APPLICANT FAX #:	
APPLICANT EMAIL:	lauren@coffmandesign.com
PROJECT DESCRIPTION:	NSFR

TO: Malibu Planning Department and/or Applicant

FROM: City of Malibu Environmental Health Reviewer

✓ **Conformance Review Complete** for project submittals reviewed with respect to the City of Malibu Local Coastal Plan/Local Implementation Plan (LCP/LIP) and Malibu Plumbing Code (MPC). The Conditions of Planning conformance review and plan check review comments listed on the attached review sheet(s) (or else handwritten below) shall be addressed prior to plan check approval.

____ **Conformance Review Incomplete** for the City of Malibu LCP/LIP and MPC. The Planning stage review comments listed on the City of Malibu Environmental Health review sheet(s) shall be addressed prior to conformance review completion.

OWTS Plot Plan: ☐ NOT REQUIRED
☑ REQUIRED (attached hereto) ☐ REQUIRED (not attached)

Signature: Matt Sanok Date: JULY 14, 2016

The applicant must submit to the City of Malibu Environmental Health Specialist to determine whether or not an onsite wastewater treatment system (OWTS) Plot Plan approval is required.

The Environmental Health Specialist may be contacted Tuesday and Thursday from 8:00 am to 11:00 am, or by calling (310) 456-2489, extension 307.

Rev 141008

City of Malibu

Environmental Health • Environmental Sustainability Department
23825 Stuart Ranch Road · Malibu, California · 90265-4861
Phone (310) 456-2489 · Fax (310) 317-1950 · www.malibucity.org

ENVIRONMENTAL HEALTH REVIEW SHEET

PROJECT INFORMATION

Applicant: (name and email address)	Lauren Coffman lauren@coffmandesign.com		
Project Address:	**33603 Pacific Coast Highway** Malibu, CA 90265		
Planning Case No.:	CDP 16-025		
Project Description:	NSFR		
Date of Review:	July 14, 2016		
Reviewer:	Matt Janousek	Signature:	
Contact Information:	Phone: (310) 456-2489 x 307	Email:	mjanousek@malibucity.org

SUBMITTAL INFORMATION

Architectural Plans:	Coffman Design Collaborative: Plans dated 5-17-2016 (submitted to Planning 5-20-2016)
Grading Plans:	Holmes Enterprises: Plans dated 5-10-2016
OWTS Plan:	Gold Coast Geoservices: OWTS plot plan dated 2-23-2016 (received 6-30-2016); Revised received 6-13-2016
OWTS Report:	Gold Coast Geoservices: OWTS design report dated 4-19-2016; OWTS letter for guest house dated 6-13-2016
Geology Report:	Gold Coast Geoservices: Geotechnical report dated 4-1-2016
Miscellaneous:	Scott Hogrefe: Fixture unit worksheets dated 6-24-2016 (received 6-30-2016)
Previous Reviews:	6-1-2016

REVIEW FINDINGS

Planning Stage:	☒	**CONFORMANCE REVIEW COMPLETE** for the City of Malibu Local Coastal Program/Local Implementation Plan (LIP) and Malibu Plumbing Code (MPC). The listed conditions of Planning stage conformance review and plan check review comments shall be addressed prior to plan check approval.
	☐	**CONFORMANCE REVIEW INCOMPLETE** for the City of Malibu LIP and MPC. The listed Planning stage review comments shall be addressed prior to conformance review completion.
Plan Check Stage:	☐	**APPROVED**
	☒	**NOT APPROVED** Please respond to the listed plan check review comments and conditions of Planning conformance review.
OWTS Plot Plan:	☐	**NOT REQUIRED**
	☒	**REQUIRED (attached hereto)** ☐ **REQUIRED (not attached)**

Based upon the project description and submittal information noted above, a **conformance review** was completed for a new alternative onsite wastewater treatment system (AOWTS) proposed to serve the onsite wastewater treatment and disposal needs of the subject property. The proposed AOWTS meets the minimum requirements of the City of Malibu Plumbing Code, i.e. Title 28 of the Los Angeles County Code, incorporating the California Plumbing Code, 2013 Edition with City of Malibu local amendments (Malibu Municipal Code Section 12.12; hereinafter MPC), and the City of Malibu Local Coastal Program/Local Implementation Plan (LIP). Please distribute this review sheet to all of the project

consultants and, prior to final approval, provide a coordinated submittal addressing all conditions for final approval and plan check items.

The conditional conformance findings hereby transmitted complete the Planning stage Environmental Health review of the subject development project. In order to obtain Environmental Health final approval of the project AOWTS Plot Plan and associated construction drawings (during Building Safety plan check), all conditions and plan check items listed below must be addressed through submittals to the Environmental Health office.

Conditions of Planning Conformance Review

1) **Final AOWTS Plot Plan:** A final plot plan shall be submitted showing an AOWTS design meeting the minimum requirements of the MPC, and the LCP/LIP, including necessary construction details, the proposed drainage plan for the developed property, and the proposed landscape plan for the developed property. The AOWTS Plot Plan shall show essential features of the AOWTS, existing improvements, and proposed/new improvements. The plot must fit on an 11" x 17" sheet leaving a 5" left margin clear to provide space for a City-applied legend. If the plan scale is such that more space is needed to clearly show construction details and/or all necessary setbacks, larger sheets may also be provided (up to a maximum size of 18" x 22" for review by Environmental Health).

2) **Final AOWTS Design Report, Plans, and System Specifications:** A final AOWTS design report and construction drawings with system specifications (four sets) shall be submitted to describe the AOWTS design basis and all components proposed for use in the construction of the AOWTS. All plans and reports must be signed by the California-registered Civil Engineer, Registered Environmental Health Specialist, or Professional Geologist who is responsible for the design. The final AOWTS design report and construction drawings shall be submitted with the designer's signature, professional registration number, and stamp (if applicable).

   The final AOWTS design submittal shall contain the following information (in addition to the items listed above).

   a. Required treatment capacity for wastewater treatment and disinfection systems. The treatment capacity shall be specified in terms of flow rate, gallons per day (gpd), and shall be supported by calculations relating the treatment capacity to the number of bedroom equivalents, plumbing fixture schedule, and the subsurface effluent dispersal system acceptance rate. The drainage fixture unit count must be clearly identified in association with the design treatment capacity, even if the design is based on the number of bedrooms. Average and peak rates of hydraulic loading to the treatment system shall be specified in the final design.

   b. Sewage and effluent pump design calculations (as applicable).

   c. Description of proposed wastewater treatment and/or disinfection system equipment. State the proposed type of treatment system(s) (e.g., aerobic treatment, textile filter, ultraviolet disinfection, etc.); major components, manufacturers, and model numbers for "package" systems; and the design basis for engineered systems.

   d. Specifications, supporting geology information, and percolation test results for the subsurface effluent dispersal portion of the onsite wastewater disposal system. This must include the proposed type of effluent dispersal system (drainfield, trench, seepage pit, subsurface drip, etc.) as well as the system's geometric dimensions and basic construction

features. Supporting calculations shall be presented that relate the results of soils analysis or percolation/infiltration tests to the projected subsurface effluent acceptance rate, including any unit conversions or safety factors. Average and peak rates of hydraulic loading to the effluent dispersal system shall be specified in the final design. The projected subsurface effluent acceptance rate shall be reported in units of total gallons per day (gpd) and gallons per square foot per day (gpsf). Specifications for the subsurface effluent dispersal system shall be shown to accommodate the design hydraulic loading rate (i.e., average and peak AOWTS effluent flow, reported in units of gpd). The subsurface effluent dispersal system design must take into account the number of bedrooms, fixture units, and building occupancy characteristics.

e. All AOWTS design drawings shall be submitted with the wet signature and typed name of the AOWTS designer. If the plan scale is such that more space than is available on the 11" x 17" plot plan is needed to clearly show construction details, larger sheets may also be provided (up to a maximum size of 18" x 22" for review by Environmental Health). [Note: For AOWTS final designs, full-size plans for are also required for review by Building & Safety and Planning.]

3) **Existing OWTS to be Abandoned**: Final plans shall clearly show the locations of all existing OWTS components (serving pre-existing development) to be abandoned and provide procedures for the OWTS' proper abandonment in conformance with the MPC.

4) **Worker Safety Note and Abandonment of Existing OWTS**: The following note shall be added to the plan drawings included with the OWTS final design. "Prior to commencing work to abandon, remove, or replace existing Onsite Wastewater Treatment System (OWTS) components an "OWTS Abandonment Permit" shall be obtained from the City of Malibu. All work performed in the OWTS abandonment, removal, or replacement area shall be performed in strict accordance with all applicable federal, state, and local environmental and occupational safety and health regulatory requirements. The obtainment of any such required permits or approvals for this scope of work shall be the responsibility of the applicant and their agents."

5) **Building Plans:** All project architectural plans and grading/drainage plans shall be submitted for Environmental Health review and approval. These plans must be approved by the Building Safety Division prior to receiving Environmental Health final approval.

6) **Proof of Ownership:** Proof of ownership of subject property shall be submitted.

7) **Operations & Maintenance Manual:** An operations and maintenance manual specified by the AOWTS designer shall be submitted. This shall be the same operations and maintenance manual proposed for later submission to the owner and/or operator of the proposed alternative onsite wastewater disposal system.

8) **Maintenance Contract:** A maintenance contract executed between the owner of subject property and an entity qualified in the opinion of the City of Malibu to maintain the proposed alternative onsite wastewater disposal system after construction shall be submitted. ***Please note only original "wet signature" documents are acceptable***.

9) **AOWTS Covenant:** A covenant running with the land shall be executed between the City of Malibu and the holder of the fee simple absolute as to subject real property and recorded with the Los Angeles County Recorder's Office. Said covenant shall serve as constructive notice to any future purchaser for value that the onsite wastewater treatment system serving subject property is an alternative method of sewage disposal pursuant to the City of Malibu Uniform Plumbing Code, Appendix H, Section H 1.10. Said covenant shall be provided by the City of Malibu Environmental Health Administrator. ***Please submit a certified copy issued by the Los Angeles County Recorder.***

10) **City of Malibu Geologist/Geotechnical Approval:** City of Malibu Geologist and Geotechnical Engineer final approval of the AOWTS plan shall be submitted.

11) **City of Malibu Planning Approval:** City of Malibu Planning Department final approval of the AOWTS plan shall be obtained.

12) **Environmental Health Final Review Fee:** A final fee in accordance with the adopted fee schedule at the time of final approval shall be paid to the City of Malibu for Environmental Health review of the AOWTS design and system specifications.

13) **Operating Permit Application and Fee:** In accordance with M.M.C. Chapter 15.14, an application shall be made to the Environmental Health office for an AOWTS operating permit. An operating permit fee in accordance with the adopted fee schedule at the time of final approval shall be submitted with the application.

-o0o-

If you have any questions regarding the above requirements, please contact the Environmental Health office at your earliest convenience.

cc: Environmental Health file
Planning Department

33603 PACIFIC COAST HIGHWAY (CDP 16-025)
MALIBU, CA 90265

S.F.D.:	8 Bedrooms/97 Fixture Units (N)
SEPTIC TANK:	4,000 gal Xerxes Tank (N)
ACTIVE:	5 - 89'x3'x5' (LxWxD) w/ 3' of Rock (N)
FUTURE:	100%
PERC RATE:	45 min/in
DESIGNER:	Scott Hogrefe, CEG (1516)
REFERENCE:	Gold Coast Geoservices: OWTS design report dated 4-19-2016

GUEST HOUSE:	2 Bedrooms/30 Fixture Units (R)
SEPTIC TANK:	1,500 gallon (N)
ACTIVE:	2 - 64'x3'x5' (LxWxD) w/ 3' of Rock (N)
FUTURE:	100%
PERC RATE:	45 min/in
DESIGNER:	Scott Hogrefe, CEG (1516)
REFERENCE:	Gold Coast Geoservices: OWTS design report dated 4-19-2016; OWTS letter for guest house dated 6-13-2016

STUDIO/GARAGE:	1 Bedroom/12 Fixture Units (E)
HAY STORAGE:	0 Bedroom/7 Fixture Units (E)
HORSE BARN:	0 Bedroom/9 Fixture Units (E)
SEPTIC TANK:	1,500 gal Precast Concrete Tank (E)
ACTIVE:	2 - 76'x3'x5' (LxWxD) w/ 3' of Rock
FUTURE:	100%
PERC RATE:	45 min/in

NOTES:

1. This conformance review is for an 8 bedroom (97 fixture units) new single family dwelling, and a 2 bedroom (30 fixture units) guest house remodel. The new onsite wastewater treatment systems for each structure conform to the requirements of the City of Malibu Plumbing Code (MPC) and the Local Coastal Plan (LCP).

2. The two existing OWTS shall be abandoned prior to final approval.

3. This review does not include multiple existing systems located on site. An operating permit for existing systems shall be submitted prior to final approval for the new systems.

4. This review relates only to the minimum requirements of the MPC, and the LCP, and does not include an evaluation of any geological or other potential problems, which may require an alternative method of review treatment.

5. This review is valid for one year, or until MPC, and/or LCP, and/or Administrative Policy changes render it noncomplying.

*See reverse side for dispersal areas.

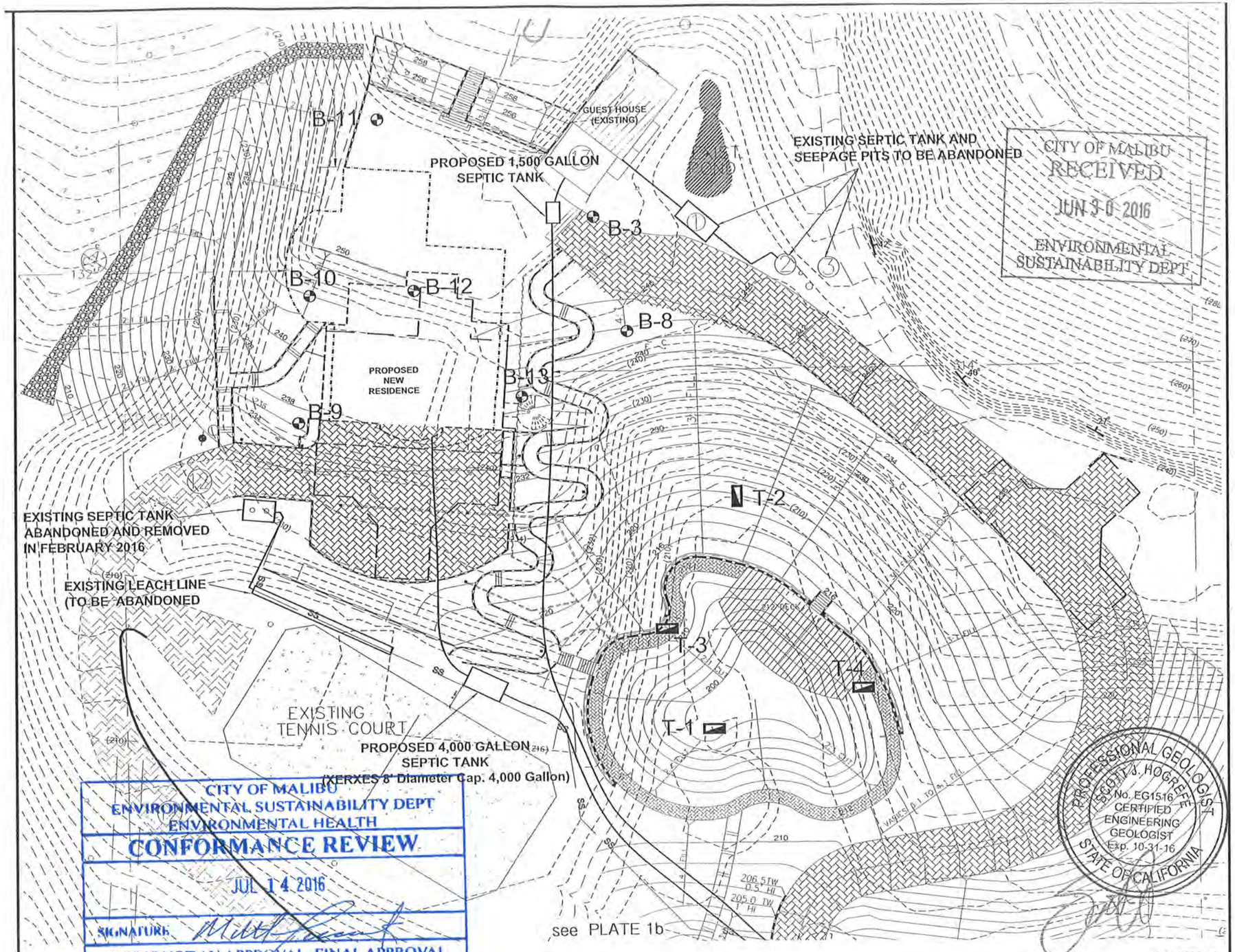


PLATE 1a

OWTS PLOT PLAN

33603 PACIFIC COAST HIGHWAY, MALIBU

SCALE: 1" = 40'	FILE NO.:	DRAWN BY: IM
DATE: 02-23-2016	GC00-101411	REV:

GOLD COAST GEOSERVICES, INC.

5251 VERDUGO WAY, SUITE J • CAMARILLO, CA 93012 • (805) 484-5070 • FAX (805) 484-4295

see PLATE 1a

TWO FUTURE LEACH LINES
64' LONG, 3' WIDE, 5' DEEP,
(3' OF GRAVEL BELOW PERFORATED PIPE)
(SERVING GUEST HOUSE)

EXISTING HAY BARN

EXISTING EQUESTRIAN BARN

EXISTING STUDIO

EXISTING SEPTIC TANK
(FOR BARN / STUDIO)

TWO PRIMARY LEACH LINES
64' LONG, 3' WIDE, 5' DEEP,
(3' OF GRAVEL BELOW PERFORATED PIPE)
(SERVING GUEST HOUSE)

FIVE FUTURE LEACH LINES
89' LONG, 3' WIDE, 5' DEEP,
(3' OF GRAVEL BELOW PERFORATED PIPE)
(SERVING NEW RESIDENCE)

FIVE PRIMARY LEACH LINES
89' LONG, 3' WIDE, 5' DEEP,
(3' OF GRAVEL BELOW PERFORATED PIPE
(SERVING NEW RESIDENCE)

LEACH LINES
(EXISTING FOR BARN / STUDIO)

FUTURE LEACH LINES
FOR BARN / STUDIO

PT-1 PT-2 PT-3 PT-4 PT-5 PT-6 PT-7 PT-8 PT-9 PT-10 PT-11

D. BOX

B-4 B-5

ENT PER
257 O.R.

EXIST. 20 MIN. ROAD,
12% MAX. GRADE

85.0000

PROFESSIONAL GEOLOGIST
SCOTT J. HOGREFE
No. EG1516
CERTIFIED
ENGINEERING
GEOLOGIST
Exp. 10-31-16
STATE OF CALIFORNIA

N

40' 20 0' 40 80'

Graphic Scale 1" = 40'

PLATE 1b

OWTS PLOT PLAN

33603 PACIFIC COAST HIGHWAY, MALIBU

SCALE: 1" = 40'	FILE NO.:	DRAWN BY: IM
DATE: 02-23-2016	GC00-101411	REV:

GOLD COAST GEOSERVICES, INC.

5251 VERDUGO WAY, SUITE J • CAMARILLO, CA 93012 • (805) 484-5070 • FAX (805) 484-4295

City of Malibu

23825 Stuart Ranch Rd., Malibu, California CA 90265-4804
(310) 456-2489 FAX (310) 456-7650

FIRE DEPARTMENT REVIEW
REFERRAL SHEET

TO: Los Angeles County Fire Department **DATE:** 5/20/2016
FROM: City of Malibu Planning Department

PROJECT NUMBER: CDP 16-025
JOB ADDRESS: 33603 PACIFIC COAST HWY
APPLICANT / CONTACT: Lauren Coffman
APPLICANT ADDRESS: 21781 Ventura
Woodland Hills, CA 91364
APPLICANT PHONE #: (818) 980-9989
APPLICANT FAX #:
PROJECT DESCRIPTION: NSFR

TO: Malibu Planning Department and/or Applicant
FROM: Fire Prevention Engineering Assistant

Compliance with the conditions checked below is required prior to Fire Department approval.

The project DOES require Fire Department Plan Review and Developer Fee payment
The project DOES NOT require Fire Department Plan Review
The required fire flow for this project is 1375 gallons per minute at 20 pounds per square inch for a ~~2~~ one hour duration. (Provide flow information from the water dept.)
The project is required to have an interior automatic fire sprinkler system.
Final Fuel Modification Plan Approval is required prior to Fire Department Approval

Conditions below marked "not approved" shall be corrected on the site plan and resubmitted for Fire Department approval.

	App'd	N/app'd
Required Fire Department vehicular access (including width and grade %) as shown from the public street to the proposed project.		
Required and/or proposed Fire Department Vehicular Turnaround		
Required 5 foot wide Fire Department Walking Access (including grade %)		
Width of proposed driveway/access roadway gates		

*County of Los Angeles Fire Department Approval Expires with City Planning permits expiration, revisions to the County of Los Angeles Fire Code or revisions to Fire Department regulations and standards.

**Minor changes may be approved by Fire Prevention Engineering, provided such changes achieve substantially the same results and the project maintains compliance with the County of Los Angeles Fire Code valid at the time revised plans are submitted. Applicable review fees shall be required.

Jackie Switzer 8/7/19
SIGNATURE DATE

Additional requirements/conditions may be imposed upon review of complete architectural plans.
The Fire Prevention Engineering may be contacted by phone at (818) 880-0341or at the Fire Department Counter:
26600 Agoura Road, Suite 110, Calabasas, CA 91302; Hours: Monday – Thursday between 7:00 AM and 11:00 AM

City of Malibu

23825 Stuart Ranch Road • Malibu, California 90265-4861
(310) 456-2489 • Fax (310) 317-1950 • www.malibucity.org

GEOTECHNICAL REVIEW SHEET

Project Information

Date:	August 5, 2016	**Review Log #:**	3883
Site Address:	33603 Pacific Coast Highway.		
Lot/Tract/PM #:	n/a	**Planning #:**	CDP 16-025
Applicant/Contact:	Lauren Coffman (lauren@coffmandesign.com)	**BPC/GPC #:**	
Contact Phone #:	818-980-9989 **Fax#:**	**Planner:**	Richard Mollica
Project Type:	New Single Family Residence		

Submittal Information

Consultant(s)/ Report Date(s): Gold Coast Geoservices, Inc., 4-1-16, 4-19-16, **7-12-16**
*(Current submittal(s) in **Bold**.)*

Building plans prepared by Coffman Design Collaborative, submitted May 20, 2016.
Revised Grading Yardage Verification Certificate 7-18-16

Previous Reviews: 6-30-16

Review Findings

Coastal Development Permit Review

☒ The residential development project is **APPROVED** from a geotechnical perspective.

☐ The residential development project is **NOT APPROVED** from a geotechnical perspective. The listed 'Review Comments' shall be addressed prior to approval.

Building Plan-Check Stage Review

☒ Awaiting Building plan check submittal. Please respond to the listed 'Building Plan-Check Stage Review Comments' AND review and incorporate the attached 'Geotechnical Notes for Building Plan Check' into the plans.

Remarks

The referenced plans and reports were reviewed by the City from a geotechnical perspective. Based on the submitted information, the project consists of demolition of an existing main house, patio, asphaltic concrete road, pool, pool deck and garage, and construction of a new main house, swimming pool, driveway, large pond with deck, and small pond. A revised grading yardage verification certificate was submitted, indicating that proposed grading consists 1,469 cubic yards of cut and fill under structure; 5,568 cubic yards of cut and fill safety grading, 135 cubic yards of cut and 82 cubic yards of fill non-exempt; 2,556 cubic yards of cut and 4,473 cubic yards of fill remedial, 3,859 cubic yards of import and 1,034 cubic yards of export for a net import of 2,825 cubic yards. The proposed OWTS as depicted on the Site Plan consists of a septic tank (size not shown) and seven primary leach lines (two 64'x 3'x 5' and five 89'x 3' x 5') and 100% expansion.

Building Plan-Check Stage Review Comments:

1. Show the locations of proposed stabilization fills, including keyway locations and dimensions, on the grading plan. The grading plan should include standard details for fill keyways, stabilization fills, and backdrains as recommended by the Project Geotechnical Consultant.

2. Note R on Sheet C-1 calls out new 6" to 12" ungrouted rip-rap to be constructed at the toe of a proposed fill slope northwest of the proposed residence. However, Detail A on Sheet C-3 calls out 6" to 18" rip-rap. Please correct this discrepancy between the two plan sheets.
3. The proposed fill slope descending west from the main residence building pad crosses over an existing drainage swale. Proposed rip-rap at the toe of the fill slope is apparently intended to intercept and reduce the velocity of runoff coming down the drainage swale. Clarify the basis for rip-rap (i.e., is it based on hydrology calculations) and whether it is sufficient to prevent erosion where the existing natural drainage swale is intercepted by the fill slope.
4. The proposed basement retaining walls extending below the interior finished floors will consist of restrained and unrestrained walls. Please provide appropriate floor surcharge pressures for wall design in addition to the recommended earth pressures.
5. All fills to be placed, including fills for new slope embankments, shall extend below existing fill and unsuitable deposits, and shall be placed and established in approved undisturbed natural soil and/or bedrock as recommended.
6. The Project Geotechnical Consultant's recommendations, contained in the geotechnical report and addendums, shall be incorporated into the plans as notes and details, and referenced on the project structural plans. One set of plans shall be submitted to the geotechnical engineering review staff for Building Plan Check. Additional review comments may be raised at that time that may require a response. The Project Geotechnical Engineer shall review, sign and wet-stamp the final building plans.
7. Two sets of final architectural, structural, grading, drainage and OWTS plans (**APPROVED BY BUILDING AND SAFETY**) incorporating the Project Geotechnical Consultant's recommendations and items in this review sheet must be **reviewed and wet stamped and manually signed by the Project Engineering Geologist and Project Geotechnical Engineer**. City geotechnical staff will review the plans for conformance with the Project Geotechnical Consultants' recommendations and items in this review sheet over the counter at City Hall. **Appointments for final review and approval of the plans may be made by calling or emailing City Geotechnical staff.**

Please direct questions regarding this review sheet to City Geotechnical staff listed below.

Engineering Geology Review by: _____ *8-5-16*

Michael B. Phipps, C.E.G. #1832, Exp. 7-31-18 Date
Engineering Geology Reviewer (310-456-2489,ext. 269)
Email: mphipps@cottonshires.com

Geotechnical Engineering Review by: _____ *8-5-16*

Franklin Fong, RCE 24179, GE 315 Date
Geotechnical Engineering Reviewer (805-496-1222)
Email: ffong@ffongge.com

This review sheet was prepared by representatives of Cotton, Shires and Associates, Inc. and GeoDynamics, Inc., contracted through Cotton, Shires and Associates, Inc., as an agent of the City of Malibu.

COTTON, SHIRES AND ASSOCIATES, INC.
CONSULTING ENGINEERS AND GEOLOGISTS

GeoDynamics, Inc.
Applied Earth Sciences
Geotechnical Engineering & Engineering Geology Consultants

City of Malibu

– GEOTECHNICAL –

NOTES FOR BUILDING PLAN-CHECK

The following standard items should be incorporated into Building Plan-Check submittals, as appropriate:

1. One set of grading, retaining wall, OWTS, swimming pool and spa, and residence plans, incorporating the Project Geotechnical Consultant's recommendations and items in this review sheet, must be submitted to City geotechnical staff for review. **Additional review comments may be raised at that time that may require a response.**
2. Show the name, address, and phone number of the Project Geotechnical Consultant(s) on the cover sheet of the Building Plans.
3. Include the following note on Grading and Foundation Plans: "*Subgrade soils shall be tested for Expansion Index prior to pouring footings or slabs; Foundation Plans shall be reviewed and revised by the Project Geotechnical Consultant, as appropriate.*"
4. Include the following note on the Foundation Plans: "*All foundation excavations must be observed and approved by the Project Geotechnical Consultant prior to placement of reinforcing steel.*"
5. The Foundation Plans for the proposed project shall clearly depict the embedment material and minimum depth of embedment for the foundations in accordance with the Project Geotechnical Consultant's recommendations.
6. Show the onsite wastewater treatment system on the Site Plan.
7. Please contact the Building and Safety Department regarding the submittal requirements for a grading and drainage plan review.
8. A comprehensive Site Drainage Plan, incorporating the Project Geotechnical Consultant's recommendations, shall be included in the Plans. Show all area drains, outlets, and non-erosive drainage devices on the Plans. Water shall not be allowed to flow uncontrolled over descending slopes.

Grading Plans (as Applicable)

1. Grading Plans shall clearly depict the limits and depths of overexcavation, as applicable.
2. Prior to final approval of the project, an as-built compaction report prepared by the Project Geotechnical Consultant must be submitted to the City for review. The report must include the results of all density tests as well as a map depicting the limits of fill, locations of all density tests, locations and elevations of all removal bottoms, locations and elevations of all keyways and back drains, and locations and elevations of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map. This comment must be included as a note on the grading plans.

Retaining Walls (As Applicable)

1. Show retaining wall backdrain and backfill design, as recommended by the Geotechnical Consultant, on the Plans.
2. Retaining walls separate from a residence require separate permits. Contact the Building and Safety Department for permit information. One set of retaining wall plans shall be submitted to the City for review by City geotechnical staff. Additional concerns may be raised at that time which may require a response by the Project Geotechnical Consultant and applicant.

City of Malibu

23825 Stuart Ranch Rd., Malibu, California CA 90265-4861
(310) 456-2489 FAX (310) 456-7650

PUBLIC WORKS REVIEW
REFERRAL SHEET

TO: Public Works Department **DATE:** 5/20/2016

FROM: City of Malibu Planning Department

PROJECT NUMBER:	CDP 16-025
JOB ADDRESS:	33603 PACIFIC COAST HWY
APPLICANT / CONTACT:	Lauren Coffman
APPLICANT ADDRESS:	21781 Ventura Woodland Hills, CA 91364
APPLICANT PHONE #:	(818) 980-9989
APPLICANT FAX #:	
APPLICANT EMAIL:	lauren@coffmandesign.com
PROJECT DESCRIPTION:	NSFR

TO: Malibu Planning Department and/or Applicant

FROM: Public Works Department

____ The following items described on the attached memorandum shall be addressed and resubmitted.

✓ The project was reviewed and found to be in conformance with the City's Public Works and LCP policies and CAN proceed through the Planning process.

Nicole B. — SIGNATURE

3-12-19 — DATE

Revised

Rev 120910

City of Malibu
MEMORANDUM

To: Planning Department

From: Public Works Department
Nicole Benyamin, Assistant Civil Engineer NB

Date: March 12, 2019

Re: Proposed Conditions of Approval for 33603 Pacific Coast Highway- CDP16-025 NSFR REVISED

The Public Works Department has reviewed the plans submitted for the above referenced project. Based on this review sufficient information has been submitted to confirm that conformance with the Malibu Local Coastal Plan (LCP) and the Malibu Municipal Code (MMC) can be attained. Prior to the issuance of building and grading permits, the applicant shall comply with the following conditions.

GRADING AND DRAINAGE

1. Clearing and grading during the rainy season (extending from November 1 to March 31) shall be prohibited for development LIP Section 17.3.1 that:
    - Is located within or adjacent to ESHA, or
    - Includes grading on slopes greater than 4:1
    - Approved grading for development that is located within or adjacent to ESHA or on slopes greater than 4:1 shall not be undertaken unless there is sufficient time to complete grading operations before the rainy season. If grading operations are not completed before the rainy season begins, grading shall be halted and temporary erosion control measures shall be put into place to minimize erosion until grading resumes after March 31, unless the City determines that completion of grading would be more protective of resources

2. Exported soil from a site shall be taken to the County Landfill or to a site with an active grading permit and the ability to accept the material in compliance with the City's LIP Section 8.3. **A note shall be placed on the project that addresses this condition.**

3. A grading and drainage plan shall be approved containing the following information prior to the issuance of grading permits for the project.
    - Public Works Department General Notes
    - The existing and proposed square footage of impervious coverage on the property shall be shown on the grading plan (including separate areas for buildings, driveways, walkways, parking, tennis courts and pool decks).
    - The limits of land to be disturbed during project development shall be delineated on the grading plan and a total area shall be shown on the plan. Areas disturbed by grading equipment beyond the limits of grading, areas disturbed for the installation of the septic system, and areas disturbed for the installation of the detention system shall be included within the area delineated.
    - The grading limits shall include the temporary cuts made for retaining walls, buttresses, and over excavations for fill slopes and shall be shown on the grading plan.
    - If the property contains trees that are to be protected they shall be highlighted on the grading plan.
    - If the property contains rare and endangered species as identified in the resources study the grading plan shall contain a prominent note identifying the areas to be protected (to be left undisturbed). Fencing of these areas shall be delineated on the grading plan if required by the City Biologist.
    - Private storm drain systems shall be shown on the grading plan. Systems greater than 12-inch diameter shall also have a plan and profile for the system included with the grading plan.
    - Public storm drain modifications shown on the grading plan shall be approved by the Public Works Department prior to the issuance of the grading permit.

STORMWATER

4. The ocean between Latigo Point and the West City limits has been established by the State Water Resources Control Board as an Area of Special Biological Significance (ASBS) as part of the California Ocean Plan. This designation allows discharge of storm water only where it is essential for flood control or slope stability, including roof, landscape, road and parking lot drainage, to prevent soil erosion, only occurs during wet weather, and is composed of only storm water runoff. The applicant shall provide a drainage system that accomplishes the following:

    - Installation of permanent BMPs that are designed to treat the potential pollutants in the storm water runoff so that it does not alter the natural ocean water quality. These pollutants include trash, oil and grease, metals, bacteria, nutrients, pesticides, herbicides and sediment.
    - Prohibits the discharge of trash.
    - Only discharges from existing storm drain outfalls are allowed. No new outfalls will be allowed. Any proposed or new storm water discharged shall be routed to existing storm drain outfalls and shall not result in any new contribution of waste to the ASBS (i.e. no additional pollutant loading).

- Elimination of non-storm water discharges.

5. A Storm Water Pollution Prevention Plan shall be provided prior to the issuance of the Grading/Building permits for the project. This plan shall include an Erosion and Sediment Control Plan (ESCP) that includes, but not limited to:

Erosion Controls	Hydraulic Mulch
	Hydroseeding
	Soil Binders
	Straw Mulch
	Geotextiles and Mats
	Wood Mulching
Sediment Controls	Fiber Rolls
	Gravel Bag Berm
	Street Sweeping and/ or Vacuum
	Storm Drain Inlet Protection
	Scheduling
	Check Dam
Additional Controls	Wind Erosion Controls
	Stabilized Construction Entrance/ Exit
	Stabilized Construction Roadway
	Entrance/ Exit Tire Wash
Non-Stormwater Management	Vehicle and Equipment Washing
	Vehicle and Equipment Fueling
	Vehicle and Equipment Maintenance
Waste Management	Material Delivery and Storage
	Spill Prevention and Control

All Best Management Practices (BMP) shall be in accordance to the latest version of the California Stormwater Quality Association (CASQA) BMP Handbook. Designated areas for the storage of construction materials, solid waste management, and portable toilets must not disrupt drainage patterns or subject the material to erosion by site runoff.

6. Prior to the approval of any permits and prior to the applicant submitting the required Construction General Permit documents to the State Water Quality Control Board, the applicant shall submit to the Public Works Department for review and approval an Erosion and Sediment Control Plan (ESCP). The ESCP shall contain appropriate site-specific construction site BMPs and developed and certified by a Qualified SWPPP Developer (QWD). All structural BMPs must be designed by a licensed California Engineer. The ESCP must address the following elements:

- Methods to minimize the footprint of the disturbed area and to prevent soil compaction outside the disturbed area.

- Methods used to protect native vegetation and trees.
- Sediment/Erosion Control.
- Controls to prevent tracking on and off the site.
- Non-storm water controls.
- Material management (delivery and storage).
- Spill Prevention and Control.
- Waste Management
- Identification of site Risk Level as identified per the requirements in Appendix 1 of the Construction General Permit.
- Landowner must sign the following statement on the ESCP:

  "I certify that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, to the best of my knowledge and belief, the information submitted is true, accurate and complete. I am aware that submitting false and/or inaccurate information, failing to update the ESCP to reflect current conditions, or failing to properly and/or adequately implement the ESCP may result in revocation of grading and/or other permits or other sanctions provided by law."

7. A State Construction activity permit is required for this project due to the disturbance of more than one acre of land for development. Provide a copy of the letter from the State Water Quality Control Board containing the WDID number prior to the issuance of grading or building permits.

8. A Storm Water Management Plan (SWMP) is required for this project. Storm drainage improvements are required to mitigate increased runoff generated by property development. The applicant shall have the choice of one method specified within the City's Local Implementation Plan Section 17.3.2.B.2. The SWMP shall be supported by a hydrology and hydraulic study that identifies all areas contributory to the property and an analysis of the predevelopment and post development drainage of the site. The SWMP shall identify the Site design and Source control Best Management Practices (BMP's) that have been implemented in the design of the project (See LIP Chapter 17 Appendix A). The SWMP shall be reviewed and approved by the Public Works Department prior to the issuance of the grading/building permits for this project.

9. A Water Quality Mitigation Plan (WQMP) is required for this project. The WQMP shall be supported by a hydrology and hydraulic study that identifies all areas contributory to the property and an analysis of the predevelopment and post development drainage of the site. The WQMP shall meet all the requirements of the City's current Municipal Separate Stormwater Sewer System (MS4) permit. The following elements shall be included within the WQMP:
   - Site Design Best Management Practices (BMP's)
   - Source Control BMP's

- Treatment Control BMP's that retains on-site the Stormwater Quality Design Volume (SWQDv). Or where it is technical infeasible to retain on-site, the project must biofiltrate 1.5 times the SWQDv that is not retained on-site.
- Drainage Improvements
- A plan for the maintenance and monitoring of the proposed treatment BMP's for the expected life of the structure.
- A copy of the WQMP shall be filed against the property to provide constructive notice to future property owners of their obligation to maintain the water quality measures installed during construction prior to the issuance of grading or building permits.
- The WQMP shall be submitted to Public Works and the fee applicable at time of submittal for the review of the WQMP shall be paid prior to the start of the technical review. The WQMP shall be approved prior to the Public Works Department's approval of the grading and drainage plan and or building plans. The Public Works Department will tentatively approve the plan and will keep a copy until the completion of the project. Once the project is completed, the applicant shall verify the installation of the BMP's, make any revisions to the WQMP, and resubmit to the Public Works Department for approval. The original signed and notarized document shall be recorded with the County Recorder. A certified copy of the WQMP shall be submitted to the Public Works Department prior to the certificate of occupancy.

MISCELLANOUS

10. The developer's consulting engineer shall sign the final plans prior to the issuance of permits.

11. The discharge of swimming pool, spa and decorative fountain water and filter backwash, including water containing bacteria, detergents, wastes, alagecides or other chemicals is prohibited. Swimming pool, spa, and decorative fountain water may be used as landscape irrigation only if the following items are met:

    - The discharge water is dechlorinated, debrominated or if the water is disinfected using ozonation;
    - There are sufficient BMPs in place to prevent soil erosion; and
    - The discharge does not reach into the MS4 or to the ASBS (including tributaries)

    Discharges not meeting the above-mentioned methods must be trucked to a Publicly Owned Wastewater Treatment Works.

    The applicant shall also provide a construction note on the plans that directs the contractor to install a new sign stating **"It is illegal to discharge pool, spa or water feature waters to a street, drainage course or storm drain per MMC 13.04.060(D)(5)."** The new sign shall be posted in the filtration and/or pumping equipment area for the property. Prior to the issuance of any permits, the applicant shall indicate the method of disinfection and the method of discharging.

COFFMANDESIGN
COLLABORATIVE

November 4, 2020

Re: 33603 Pacific Coast Highway
CDP 16-025 / New Main House

Schedule Of Owners' Addresses And Structures Within 500 Foot Radius

Map #.	Address	APN	Parcel Size	Structure Size	Year Built
1	33603 PCH	4473-002-002	1,087,392.3 SF	5,192 SF	1973
2	33905 PCH	4473-002-020	3,411,619.2 SF	No habitable structures	1942, 1950, 1952, 1968, 1973, 1976
3	33905 PCH	4473-002-903	872,506.8 SF	Vacant Land	
4	33540 PCH	4473-020-030	57,063.6 SF	No habitable Structures: garage/cabana	
5	33555 PCH	4473-002-014	242,193.6 SF	Vacant Land	
	33565 PCH	4473-002-015	242,193.6 SF	Vacant Land	
	No address	4473-002-016	242,193.6 SF	Vacant Land	
6	no address	4473-002-901		Vacant Land	
7	33515 PCH	4473-003-001	89,730.0 SF	3,211 SF	1948, 1980
8	33517 PCH	4473-003-002	57,500.0 SF	2,529 SF	1954, 1979, 1984
9	33550 PCH	4473-020-014	28,311.0 SF	6,658 SF	2002
	33526 PCH	4473-020-023	31,020.0 SF	2,115 SF	1950, 1960
	33524 PCH	4473-020-024	34,940.0 SF	2,276 SF	1972, 2000
	No address	4473-020-020	3,490.0 SF	Vacant Land	
10	33572 PCH	4473-021-018	*43,310.0 SF	3,021 SF	1978
	33556 PCH	4473-020-026	*27,740.0 SF	Vacant Land	
11	33600 PCH	4473-021-016	33,540.0 SF	2,922 SF	1960
	No address	4473-021-013	16,120.0 SF	Vacant land	
12	33602 PCH	4473-021-015	31,360.0 SF	6,208 SF	1963
13	33604 PCH	4473-021-014	32,670.0 SF	2,860 SF	1974
14	33610 PCH	4473-021-012	20,040.0 SF	Vacant Land	
	33616 PCH	4473-021-011	29,180.0 SF	7,500 SF	2015
15	No address	4473-021-004	37,030.0 SF	Vacant Land	
	33730 PCH	4473-021-005	33,540.0 SF	3,381 SF	1964, 1967
16	33608 PCH	4473-021-010	33,540.0 SF	5,033 SF	1955, 2005
17	33618 PCH	4473-021-009	24,360.0 SF	2,450 SF	1960
18	33626 PCH	4473-021-008	37,030.0 SF	1,715 SF	1962
19	33634 PCH	4473-021-007	90,070.0 SF	1,232 SF	1953
20	33650 PCH	4473-021-006	178,596.0 SF	Vacant Land	

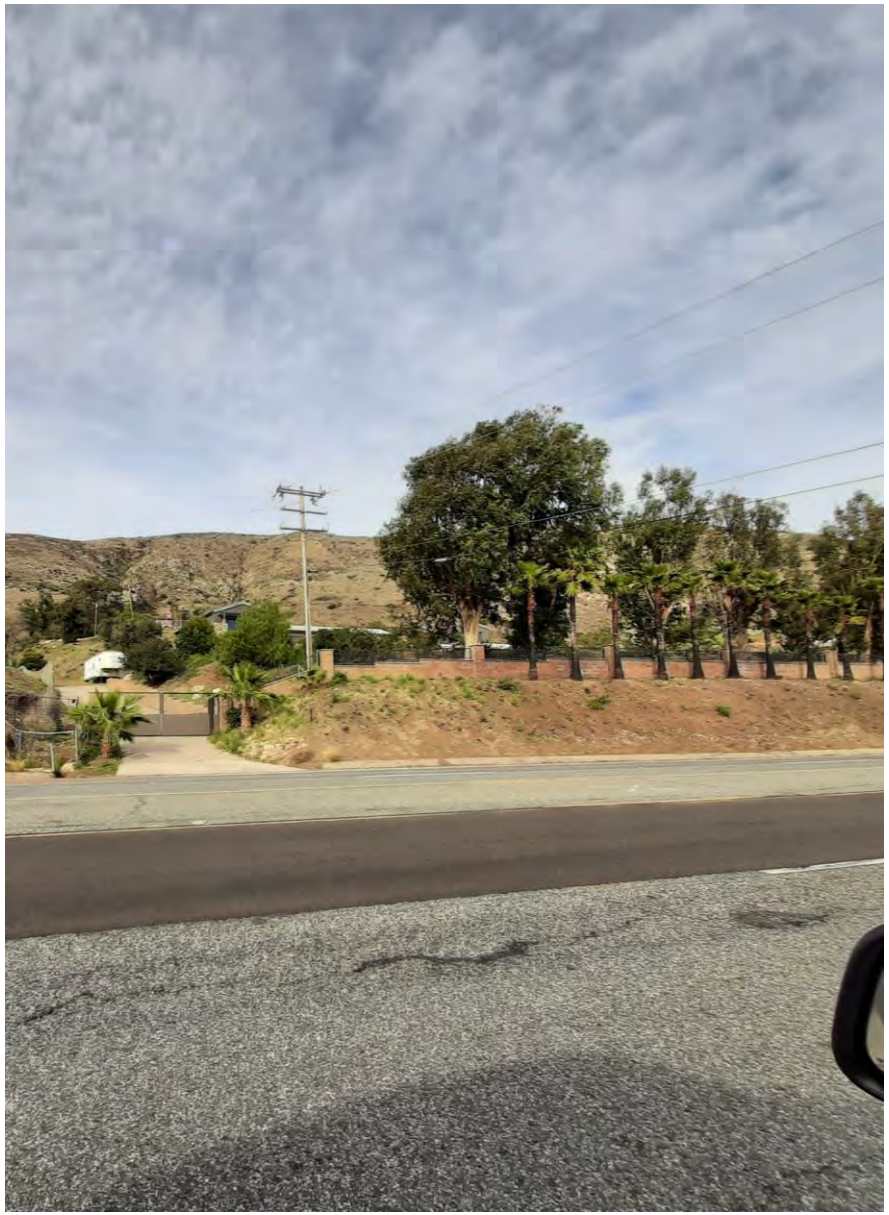
*Public access easements excluded

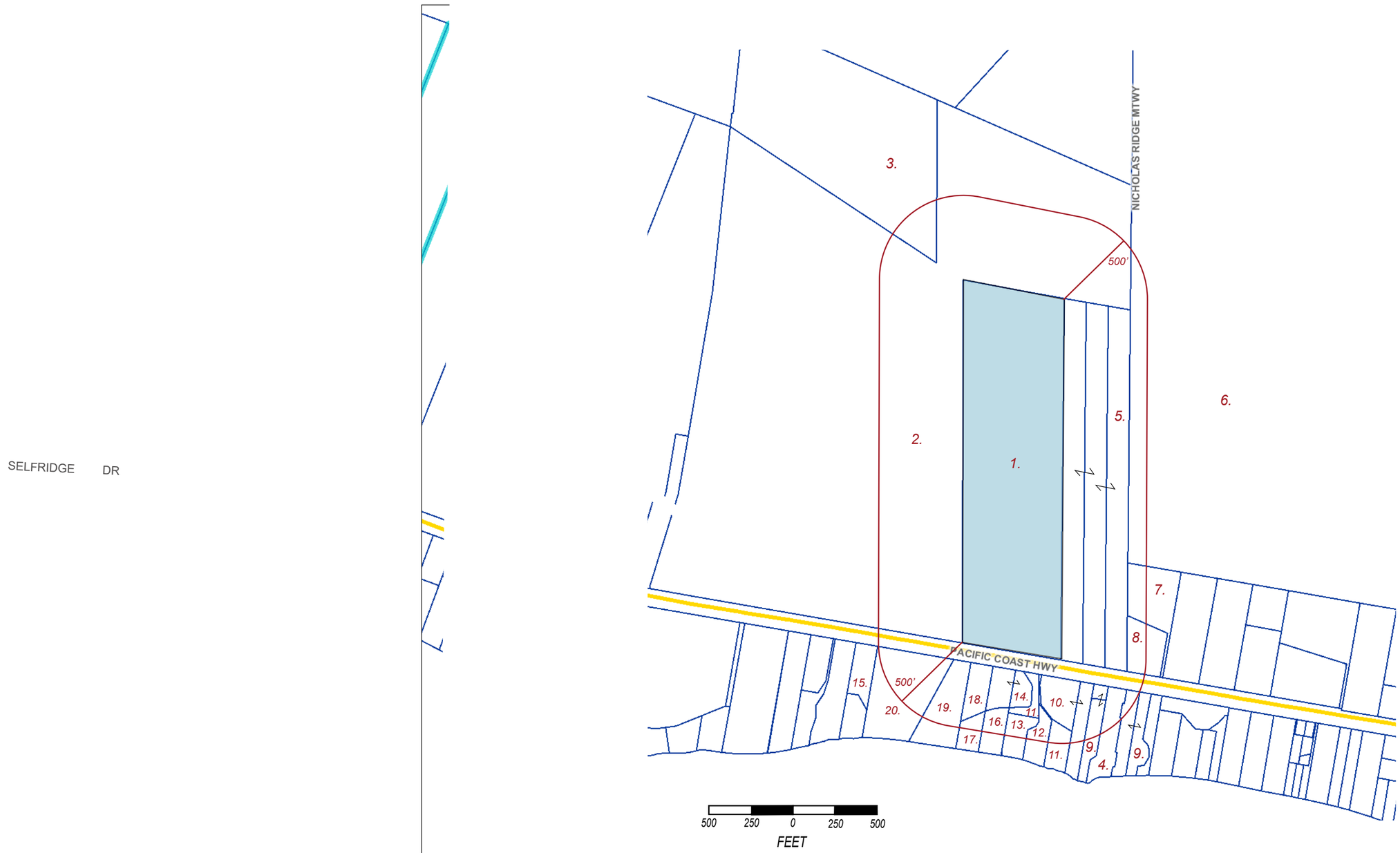
33603PCHScheduleOfRadiusMapAddressesAndStructures.doc

ARCHITECTURE
21781 VENTURA BLVD
SUITE 527
WOODLAND HILLS,CA 91364
T 818.980.9989
F 818.980.9996
WWW.COFFMANDESIGN.COM

ATTACHMENT 4

Story Pole Pictures





SITE ADDRESS :

33603 PACIFIC COAST HWY
MALIBU, CA 90265

APN: 4473-002-002

LEGEND:

1. - 20. OWNERS

500' RADIUS MAP

JPL ZONING SERVICES
6257 VAN NUYS BLVD., #101
VAN NUYS CA 91401
PHONE 818-781-0016

DATE: 10/05/2020

N

USES: FIELD

CONTACT PERSON:
COFFMAN DESIGN COLLABORATIVE
LAUREN COFFMAN

PHONE: NO: 818-980-9989

JPL# 6995 UPD3

ATTACHMENT 6

City Of Malibu
23825 Stuart Ranch Road
Malibu, CA 90265
Phone (310) 456-2489
www.malibucity.org

PLANNING DEPARTMENT

Notice of Public Hearing

Notice of Public Hearing

The Malibu Planning Commission will hold a public hearing on **TUESDAY, February 16, 2021, at 6:30 p.m**. for the project identified below which will be held via teleconference only in order to reduce the risk of spreading COVID-19 pursuant to the Governor's Executive Orders N-25-20 & N-29-20 & the County of Los Angeles Public Health Officer's Safer at Home Order

COASTAL DEVELOPMENT PERMIT NO. 16-025, VARIANCE NOS. 16-013 AND 16-014, SITE PLAN REVIEW NOS. 16-028 AND 20-078, AND DEMOLITION PERMIT NO. 19-047 - An application to allow for the demolition of a single-family residence, exterior facade remodel of an existing guest house, construction of a new two-story single-family residence, new swimming pool, new onsite wastewater treatment system and associated development, including a variance to exceed the allowable total development square footage and allowable grading, and a site plan review to allow for construction in excess of 18-feet to allow for a pitched roof, not to exceed 28-feet in height

LOCATION / APN / ZONING:	**33603 Pacific Coast Highway** / 4473-002-002 / Rural Residential-Five Acre (RR-5)
APPLICANT / OWNER:	Coffman Design Collaborative / Palms of Malibu Ranch, LLC
APPEALABLE TO:	City Council
ENVIRONMENTAL REVIEW:	Categorical Exemption CEQA Guidelines Section 15270
APPLICATION FILED:	May 20, 2016
CASE PLANNER:	Didier Murillo, Associate Planner, dmurillo@malibucity.org (310) 456-2489, ext. 353

A written staff report will be available at or before the hearing for the project, typically 10 days before the hearing in the Agenda Center: http://www.malibucity.org/agendacenter. Related documents are available for review by contacting the Case Planner during regular business hours. You will have an opportunity to testify at the public hearing; written comments which shall be considered public record, may be submitted any time prior to the beginning of the public hearing. If the City's action is challenged in court, testimony may be limited to issues raised before or at the public hearing. To view or sign up to speak during the meeting, visit www.malibucity.org/virtualmeeting.

LOCAL APPEAL - A decision of the Planning Commission may be appealed to the City Council by an aggrieved person by written statement setting forth the grounds for appeal. An appeal shall be emailed to psalazar@malibucity.org within ten days following the date of action and the filing fee shall be mailed to Malibu Planning Department, attention: Patricia Salazar, 23825 Stuart Ranch Road, Malibu, CA 90265. Payment must be received within 10 days of the appeal deadline. Appeal forms may be found online at www.malibucity.org/planningforms. If you are unable to submit your appeal online, please contact Patricia Salazar by calling (310) 456-2489, extension 245, at least two business days before your appeal deadline to arrange alternative delivery of the appeal.

RICHARD MOLLICA, Planning Director Date: January 26, 2021

CITY OF MALIBU PLANNING COMMISSION
RESOLUTION NO. 21-15

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MALIBU, DENYING COASTAL DEVELOPMENT PERMIT NO. 16-025 TO CONSTRUCT A NEW 9,360.5 SQUARE FOOT, TWO STORY SINGLE-FAMILY RESIDENCE, INCLUDING A 1,871.8 SQUARE FOOT SUBTERRENEAN GARAGE, SWIMMING POND, LANDSCAPING, HARDSCAPE, RETAINIGN WALLS, ONSITE WASTEWATER TREATMENT SYSTEM, EXTERIOR FAÇADE REMODEL OF EXISTING GUEST HOUSE AND ASSOCIATED DEVELOPMENT; INCLUDING VARIANCE NO. 16-013 TO EXCEED THE ALLOWABLE GRADING AND VARIANCE NO. 16-014 TO EXCEED THE ALLOWABLE TOTAL DEVELOPMENT SQUARE FOOTAGE; INCLUDING SITE PLAN REVIEW NO. 16-028 FOR CONSTRUCTION UP TO 28-FEET FOR A PITCHED ROOF AD SITE PLAN REVIEW NO. 20-078 FOR REMEDIAL GRADING AND DEMOLITION PERMIT NO. 19-047 FOR THE DEMOLITION OF THE EXISTING SINGLE-FAMILY RESIDENCE, GARAGE AND ASSOCIATED DEVELOPMENT, LOCATED IN THE RURAL RESIDENTIAL-FIVE ACRE ZONING DISTRICT AT 33603 PACIFIC COAST HIGHWAY (PALMS OF MALIBU RANCH, LLC)

The Planning Commission of the City of Malibu does hereby find, order and resolve as follows:

SECTION 1. Recitals.

A. On May 20, 2016, an application for Coastal Development Permit (CDP) No. 16-025 was submitted to the Planning Department by Laura Coffman. The application was routed to the City Biologist, City Environmental Health Administrator, City geotechnical staff, City Public Works Department, Los Angeles County Fire Department (LACFD) and Los Angeles County Waterworks District No. 29 (WD29) for review.

B. On October 1, 2020, staff conducted a site visit to document site conditions.

C. On August 10, 2020, the application was deemed complete by the Planning Department.

D. On December 15, 2020, a Notice of CDP Application was posted on the subject property.

E. On February 2021, staff conducted a site visit to determine visual impacts and document the story poles installed in January 2021 to demonstrate the location, height and bulk of the proposed project. The story poles were certified by a licensed surveryor.

F. On January 21, 2021, a Notice of Planning Commission Public Hearing was published in a newspaper of general circulation within the City of Malibu and on January 26, 2021, was mailed to all property owners and occupants within a 500-foot radius of the subject property.

G. On February 16, 2021, the Planning Commission held a duly noticed public hearing on the subject application, reviewed and considered the staff report, reviewed and considered written reports, public testimony, and other information in the record.

SECTION 2. Environmental Review.

Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15270, CEQA does not apply to projects which a public agency rejects or disapproves.

SECTION 3. Findings for Denial.

Based on substantial evidence contained within the record and pursuant to Local Coastal Program (LCP) Local Implementation Plan (LIP) Sections 13.7(B) and 13.9, the Planning Commission adopts the analysis in the agenda report, incorporated herein, and the findings of fact below, and denies CDP No. 16-025 for construction of a new 9,360.5 square foot, two-story single-family residence, including a 1,871.8 square foot subterranean garage, swimming pond, landscaping, hardscape, retaining walls, OWTS, exterior façade remodel of existing guest house and associated development; including VAR No. 16-013 to exceed the allowable grading, VAR No. 16-014 to exceed the allowable Total Development Square Footage (TDSF), SPR No. 16-028 for construction up to 28 feet for a pitched floor, SPR No. 20-078 for remedial grading and DP No. 19-047 for the demolition of the existing single-family residence, garage and associated development.

The proposed project has been determined to not be consistent with all applicable requirements of the LCP, specifically LIP Sections 8.3 and 3.6.K in that the project is exceeding the allowable grading and TDSF on site. The required findings for denial of the requested variances are made herein.

A. General Coastal Development Permit (LIP Chapter 13)

1. The project is located in the RR-5 residential zoning district, an area designated for residential uses. A single-family residence and associated development are permitted uses. The project has been reviewed for conformance with the LCP by the Planning Department, City Biologist, City Environmental Health Administrator, City Public Works Department, City geotechnical staff, WD29, and the LACFD. As discussed herein, based on submitted reports, project plans, visual analysis and site investigations, the proposed project, does not, conform to the LCP due the fact that the LIP places a maximum TDSF of 11,172 square feet on a parcel. Furthermore, the LIP places a maximum of 1,000 cubic yards of grading on a parcel. The proposed project is requesting to exceed the allowable TDSF by 5,241.5 square feet, as well as exceed the allowable grading by 160 cubic yards.

2. A smaller residence could be proposed for the project that results in less grading and compliance with the maximum allowable TDSF. The proposed project does not comply with the allowable TDSF and grading quantities. However, it does comply with the total impermeable lot coverage, and setback requirements. Additionally, the proposed development is sited on an existing approved development pad and does not result in fuel modification encroachments into the ESHA buffer on the northern, eastern, or western side of the property. Siting the proposed development on the existing approved development pad minimizes grading. Limiting grading on the site reduces potential environmental impacts such as site disturbance, truck trips and noise to the area. Although proposed on the existing building pad the project is exceeding the allowed grading by 160 cubic yards. A smaller residence will contribute to lower cubic yard quantities within what is allowed by the LCP. No existing blue water views will be blocked from neighboring properties by the proposed development. The proposed development is visible from public viewing areas (PCH) however it is sited in the same location as the existing two-story single-family residence. It is anticipated that a smaller residence would be an environmentally superior alternative while accomplishing the project

objectives requested by the property owner and avoid the request of two variances for TDSF and grading.

B. Variance to Exceed the Allowable Grading (LIP Section 13.26)

1. The project is proposing additional non-exempt grading on site exceeding the allowed 1,000 cubic yards. Denying the variance would not result in depriving the property of privileges enjoyed by other property in the vicinity and under identical zoning classification (RR-5). The project could be redesigned to fit within the allowed 1,000 cubic yards.

2. Granting the requested variance to allow the additional 160 cubic yards of grading will not be detrimental to the public interest, safety health or welfare, and will not be detrimental or injurious to the property or improvements in the same vicinity and zone in which the property is located. The grading plan has been reviewed and conditionally approved by City geotechnical staff.

3. Granting the variance will constitute a special privilege to the applicant as the variance would allow the project to exceed the allowable grading by 160 cubic yards above the 1,000 cubic yards allowed per the LIP Section 8.3. As discussed in this report, the property is currently developed, and project alternatives exist for development that would not result in additional nonexempt grading beyond the 1,000 cubic yard limit.

4. The granting of the variance is in conflict with the objectives and policies of the LCP as the project would be allowed to exceed the allowable grading by 160 cubic yards above the 1,000 cubic yards allowed per the LIP Section 8.3.

5. The variance request is not consistent with the purpose and intent of the zone in which the site is located as it is it is requesting to exceed the allowable grading set forth in LIP Section 8.3.

6. The subject site is physically suitable for the proposed variance as it is approximately 25 acres in size; however, LIP Section 8.3 places a maximum grading allowed per site at 1,000 cubic yards. and there are project alternatives that would result in less grading.

7. The variance does not comply with all requirements of the local law as it deviates from the requirements of the LCP, specifically LIP Section 8.3.

C. Variance to Exceed the Allowable Total Development Square Footage (LIP Section 13.26)

1. The project is proposing an additional 5,241.5-square feet beyond the allowable TDSF per LIP Section 3.6.K. Denying the variance would not result in depriving the property of privileges enjoyed by other property in the vicinity and under identical zoning classification (RR-5). The project can be redesigned to fit within the maximum 11,172 square feet TDSF allowed and still be consistent with surrounding development.

2. Granting the requested variance to allow the additional 5,241.5-square feet beyond the allowable TDSF will not be detrimental to the public interest, safety health or welfare, and will not be detrimental or injurious to the property or improvements in the same vicinity and zone in which the property is located. The project has been reviewed and conditionally approved by the City Biologist, City Environmental Health Administrator, City Public Works Department, City geotechnical staff, WD29, and the LACFD.

3. Granting the variance will constitute a special privilege to the applicant as the variance would allow the project to exceed the allowable TDSF by 5,241.5-square feet above the 11,172 square feet allowed per the LIP Section 3.6.K. Properties within a 500-foot radius of the subject property are developed with habitable structures that range in size from 1,232-square feet to 7,500-square feet. The proposed project includes 11,442-square feet of habitable area (excluding garages and covered porches).

4. The granting of the variance is in conflict with the objectives and policies of the LCP as the project would be allowed to exceed the allowable TDSF by 5,241.5-square feet above the 11,172 square feet allowed per the LIP Section 3.6.K.

5. The variance request is not consistent with the purpose and intent of the zone in which the site is located as it is it is requesting to exceed the allowable TDSF set forth in LIP Section 3.6.K.

6. The site is approximately 25 acres in size and is physical suitable for the proposed variance and may accommodate additional square footage due to the 25 acre lot area; however, the LIP places a maximum TDSF of 11,172 square feet set forth in LIP Section 3.6.K.

7. The variance does not comply with all requirements of the local law as it deviates from the requirements of the LCP, specifically LIP Section 3.6.K.

D. Scenic, Visual and Hillside Resource Protection Chapter (LIP Chapter 6)

1. The Planning Commission cannot make all of the required findinds for LIP Chapter 6 because as previously stated in Section A, the proposed project, as designed is not the least environmentally damaging alternative because a smaller residence could be proposed for the project which would reduce the size of the proposed structure and reduce cubic yard quantities.

E. Hazards (LIP Chapter 9)

1. The Planning Commission cannot make all of the required findinds for LIP Chapter 9 because as previously stated in Section A, the proposed project, as designed is not the least environmentally damaging alternative because a smaller residence could be proposed for the project which would reduce the size of the proposed structure and reduce cubic yard quantities.

F. Demolition Permit Fidings (MMC Chapter 17.70)

1. This CDP application is being processed concurrently with DP No. 19-047, approval of the demolition permit is subject to the approval of CDP No. 16-025.

SECTION 4. Planning Commission Action.

Based on the foregoing findings and evidence contained within the record, the Planning Commission hereby denies CDP No. 16-025, VAR No. 16-013, VAR No. 16-014, SPR No. 16-028, SPR No. 20-078 and DP No. 19-047.

SECTION 5. The Planning Commission shall certify the adoption of this Resolution.

PASSED AND ADOPTED this 16th day of Feburary 2021.

JEFFREY JENNINGS, Planning Commission Chair

ATTEST:

KATHLEEN STECKO, Recording Secretary

LOCAL APPEAL - Pursuant to Local Coastal Program Local Implementation Plan (LIP) Section 13.20.1 (Local Appeals) a decision made by the Planning Commission may be appealed to the City Council by an aggrieved person by written statement setting forth the grounds for appeal. An appeal shall be filed with the City Clerk within 10 days and shall be accompanied by an appeal form and filing fee, as specified by the City Council. Appeals shall be emailed to psalazar@malibucity.org and the filing fee shall be mailed to Malibu Planning Department, attention: Patricia Salazar, 23825 Stuart Ranch Road, Malibu, CA 90265. Appeal forms may be found online at www.malibucity.org/planningforms. If you are unable to submit your appeal online, please contact Patricia Salazar by calling (310) 456-2489, extension 245, at least two business days before your appeal deadline to arrange alternative delivery of the appeal.

I CERTIFY THAT THE FOREGOING RESOLUTION NO. 21-15 was passed and adopted by the Planning Commission of the City of Malibu at the regular meeting held on the 16th day of February 2021 by the following vote:

AYES:	5	Commissioners:	Hill, Mazza, Smith, Weil, Jennings
NOES:	0		
ABSTAIN:	0		
ABSENT:	0		

KATHLEEN STECKO, Recording Secretary

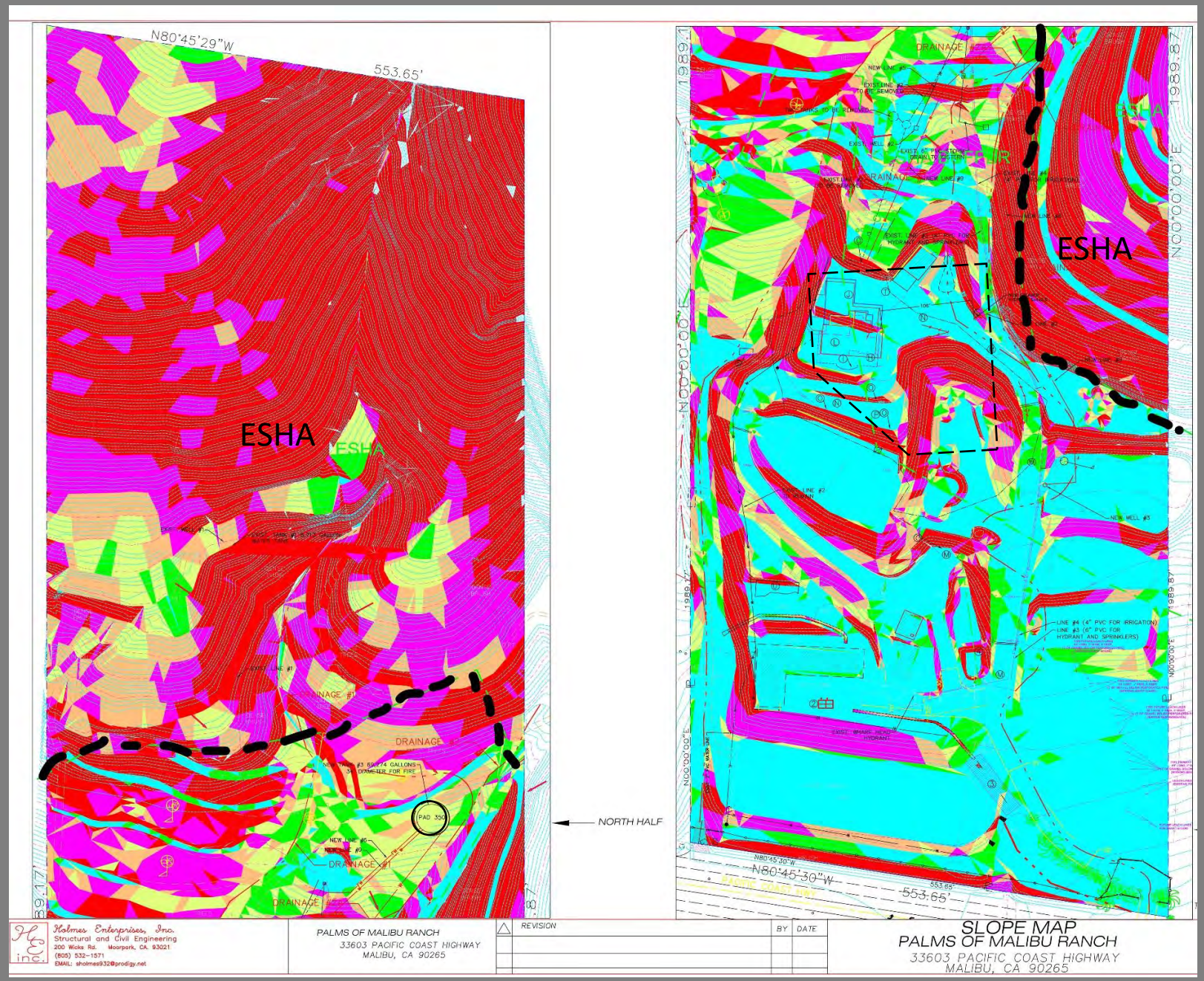
The City shall promote an aesthetically pleasing and visually stimulating environment whose architecture, common, and open spaces inspire and uplift the human spirit.

LU Policy 2.1.1 / General Plan

33603 Pacific Coast Highway

Palms Of Malibu Ranch

EXHIBIT E



SLOPE ANALYSIS

Color	Range Beg	Range End	Percent	Area
	0:0	5:1	25.3	268262.8
	5:1	4:1	5.1	53702.0
	4:1	3:1	7.9	83313.3
	3:1	2.5:1	8.8	92749.4
	2.5:1	1:1	16.7	176888.8
	1:1	1:1+	38.3	412475.7

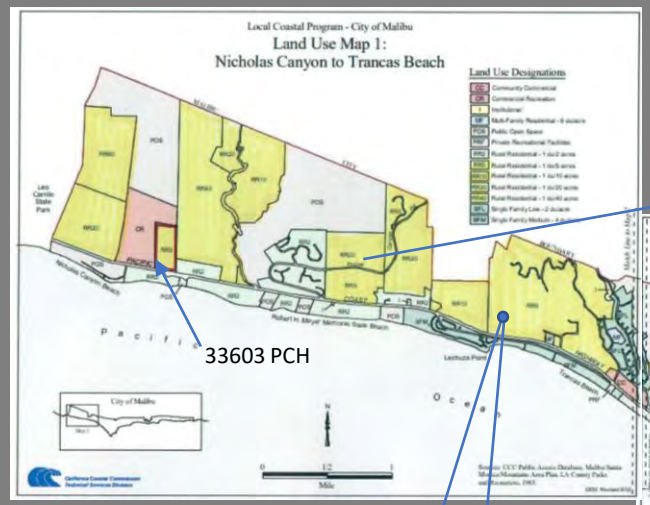
Buildable Acres

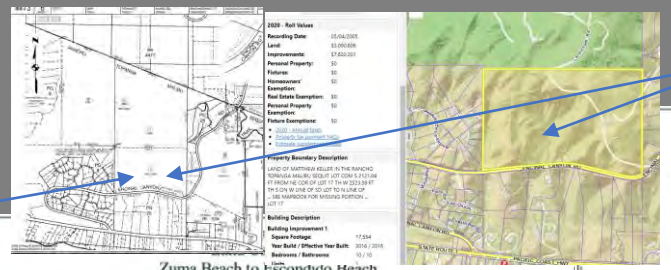
1:1 Slope on site 412,475.7 SF
divided by 43,560 SF (1 acre)
= 9.47 acres

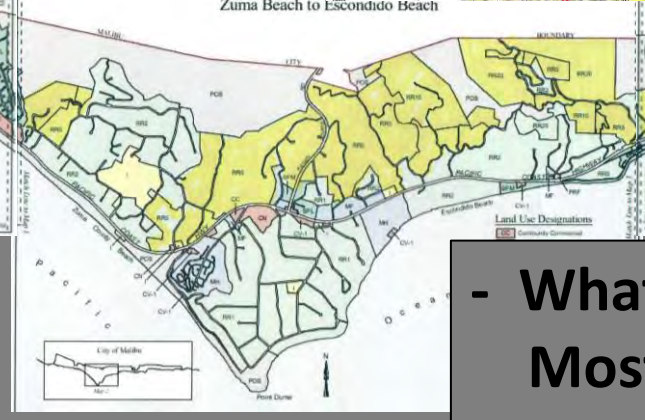
Total Site Acres 24.9 acres
Less 9.47 acres
Total Buildable Area 15.43 acres

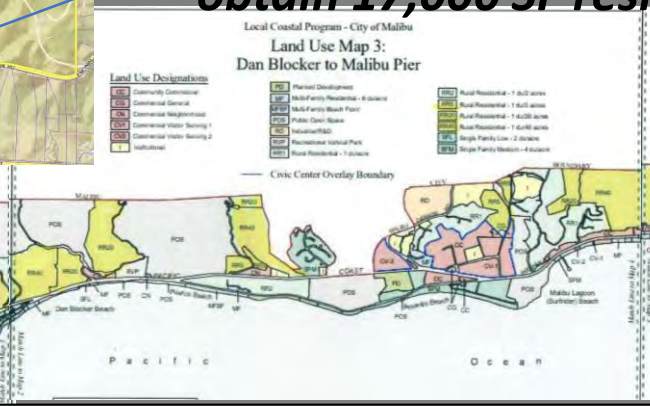
Maximum Total Development Square Footage, 11,172 SF is allowed for 5 buildable acres and above. LIP penalizes properties larger than 5 acres which have the scale to support additional DSF

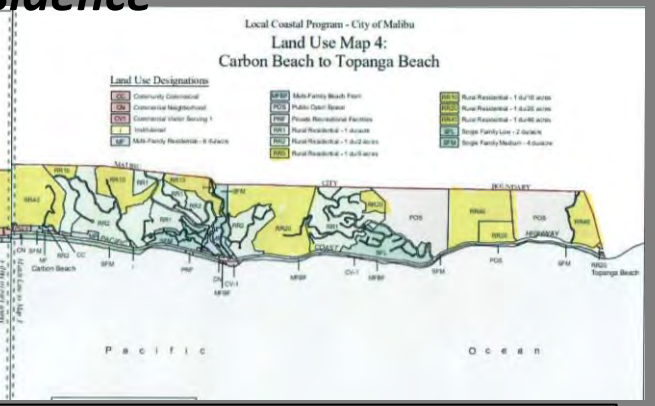
RR20-Esha development /combined lots to obtain 17,000 SF residence



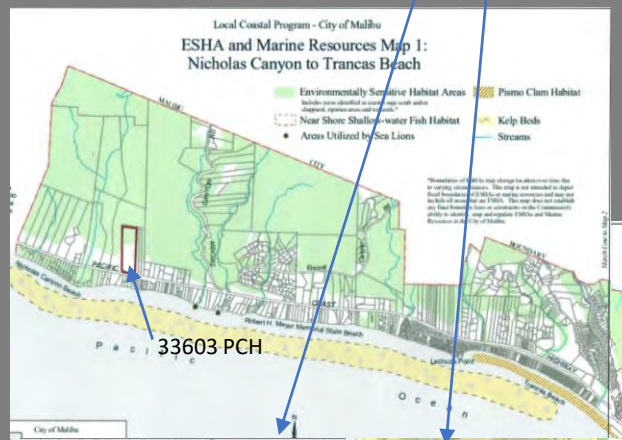


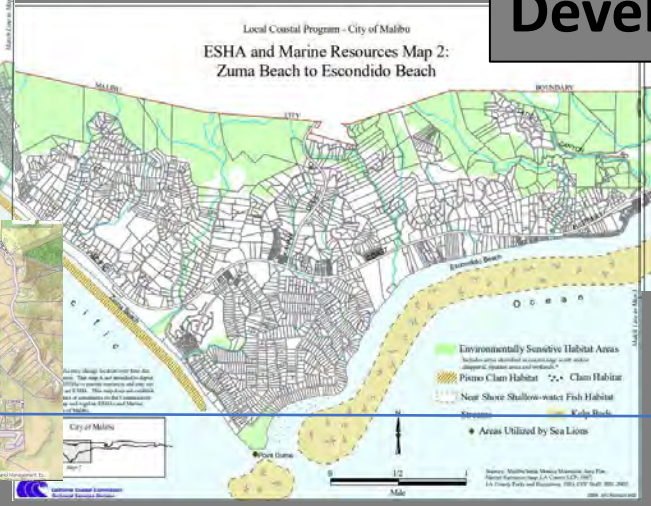


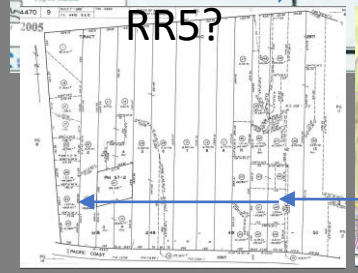


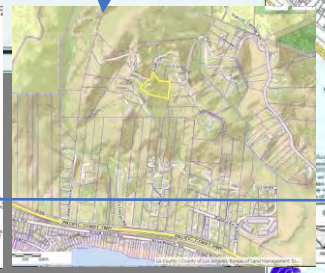


- **What happened to the 20 acre lot?**
  Mostly in ESHA
- **No comparable Rural Residential properties with: 15 buildable acres / Equestrian Ranch / Agricultural Development**







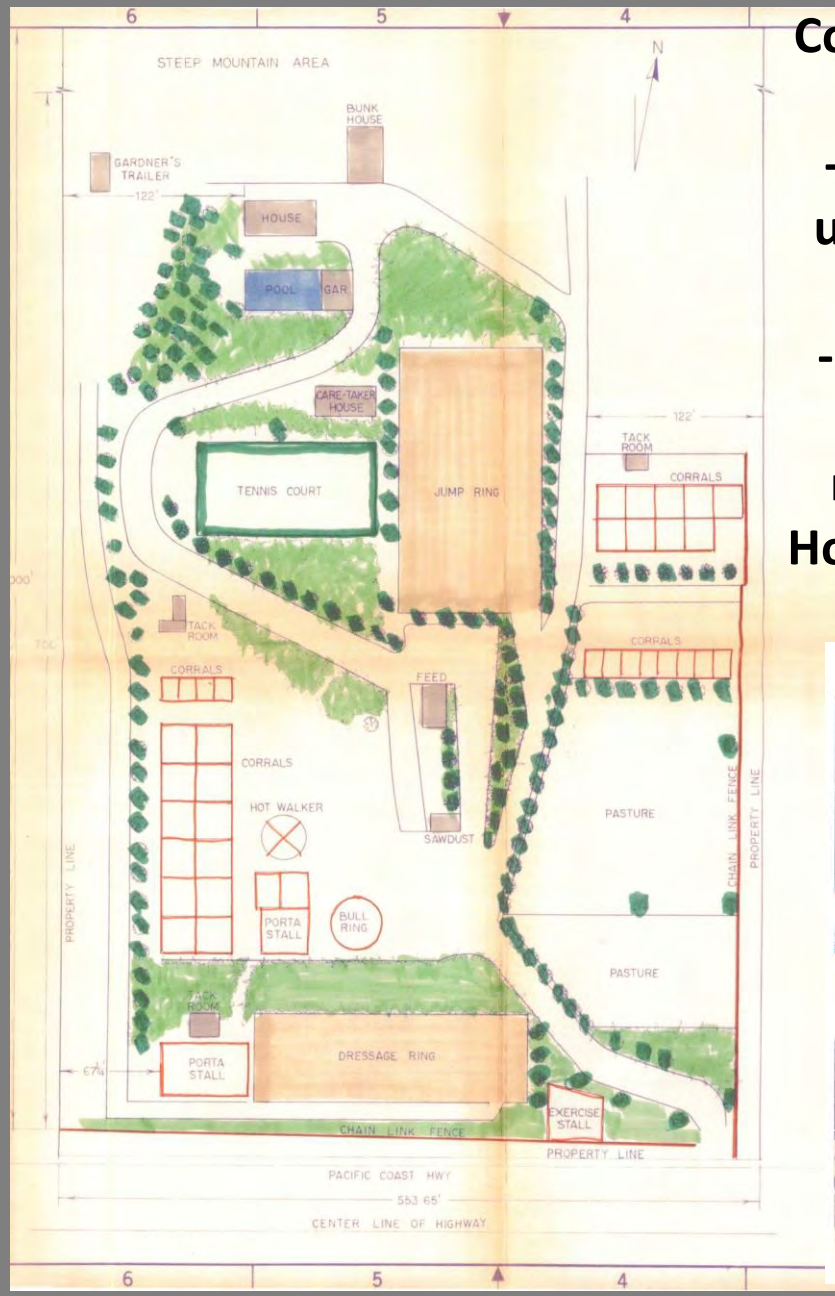


Over development: RR5 lots divided into 1 acre lots

Compatibility With Scale Of Neighborhood / Visible From Pacific Coast Highway

Horsebarn	3,648 SF
Haybarn	462 SF
Studio Building	1,146 SF

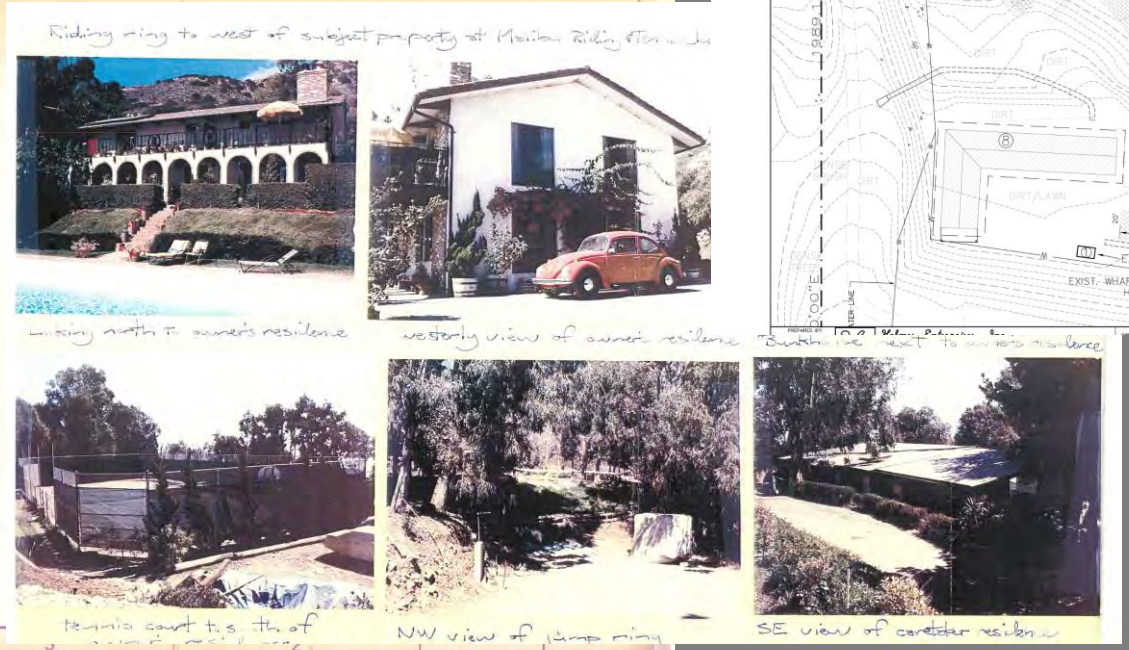
Agricultural and Equestrian Use: Traditional farming and ranching is practiced in only a minute fraction of land within the City. Horticulture and horse ranches are more prevalent, usually as a transitional use or an adjunct to residential uses. Residents view preservation of these uses as important to the preservation of the rural atmosphere of the community / City Of Malibu General Plan 1995 (supplement No.7 December 2017) Land Use Development page 16

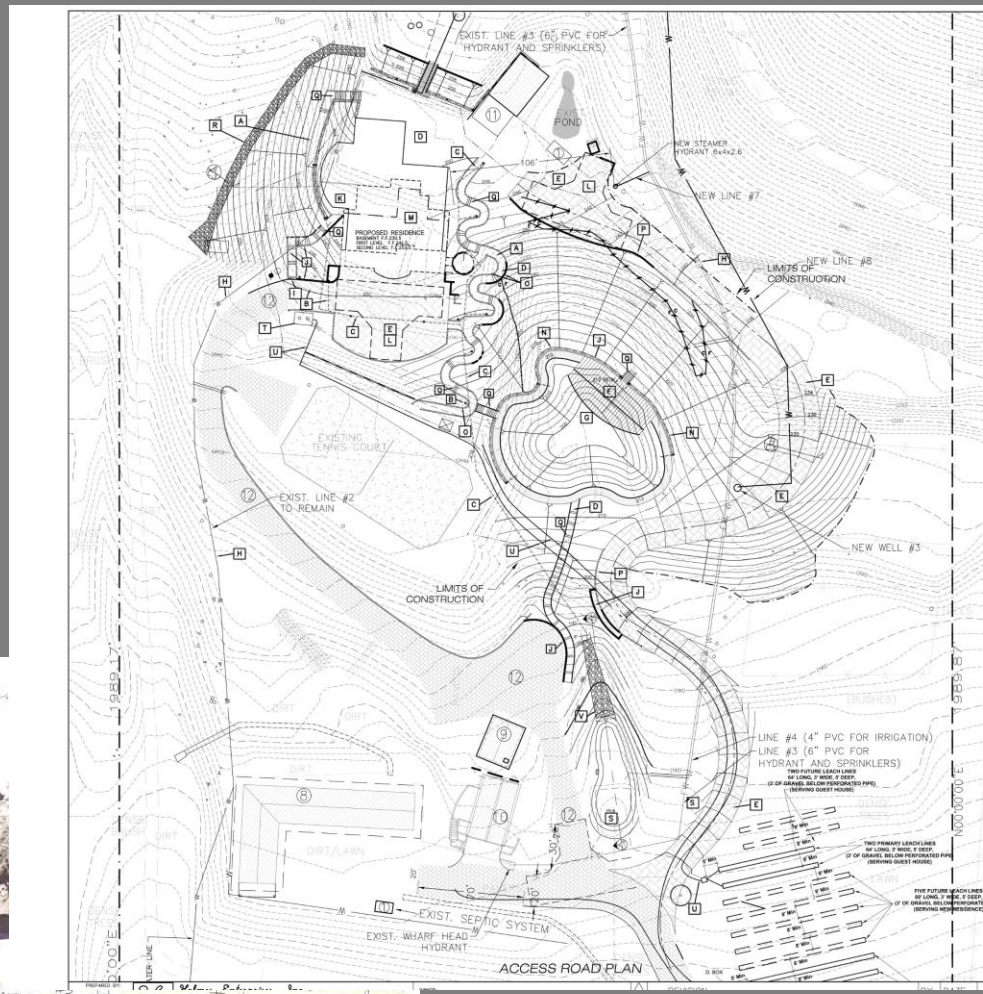


Continue the historic use of the property:

- A Horse ranch -Conditional use/low intensity commercial recreation/1975-1995

- Continue to develop existing graded pads: Lower arena maintained; Corrals become Horsebarn; Main House in same location

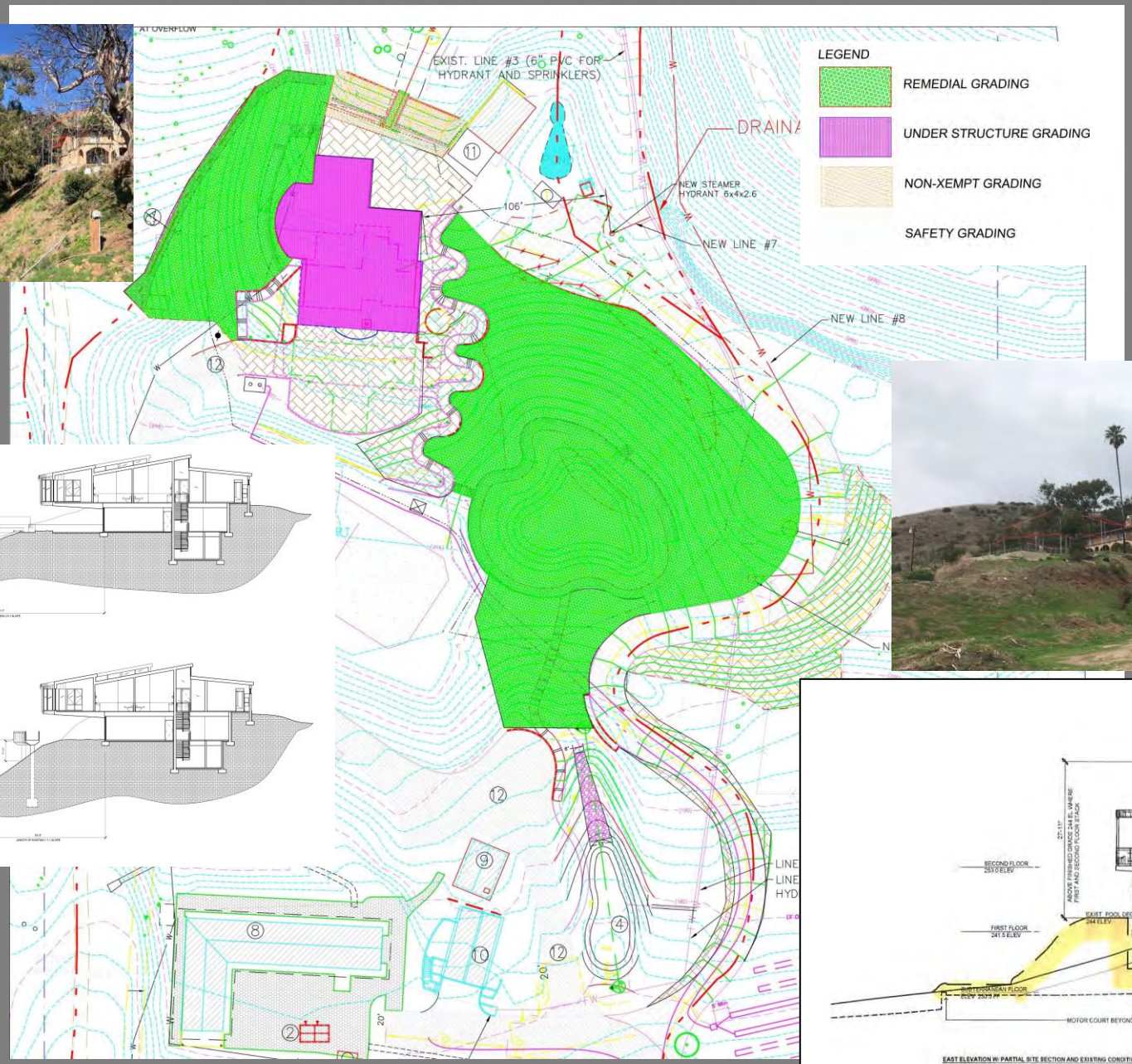


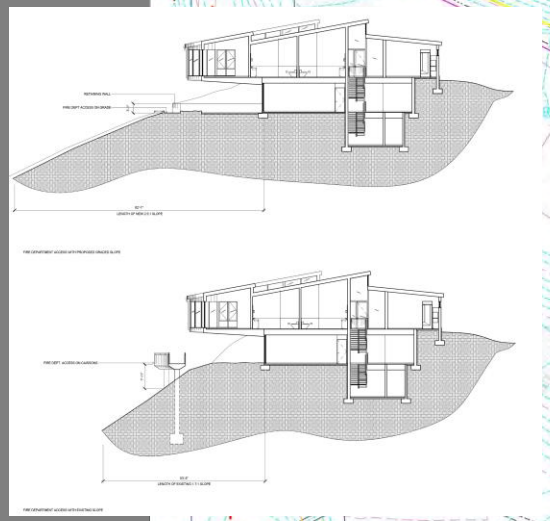


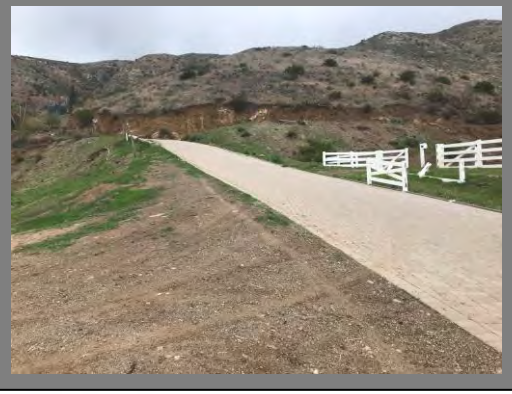
-Improve existing 2:1 slopes with compacted 3:1 slope mitigation

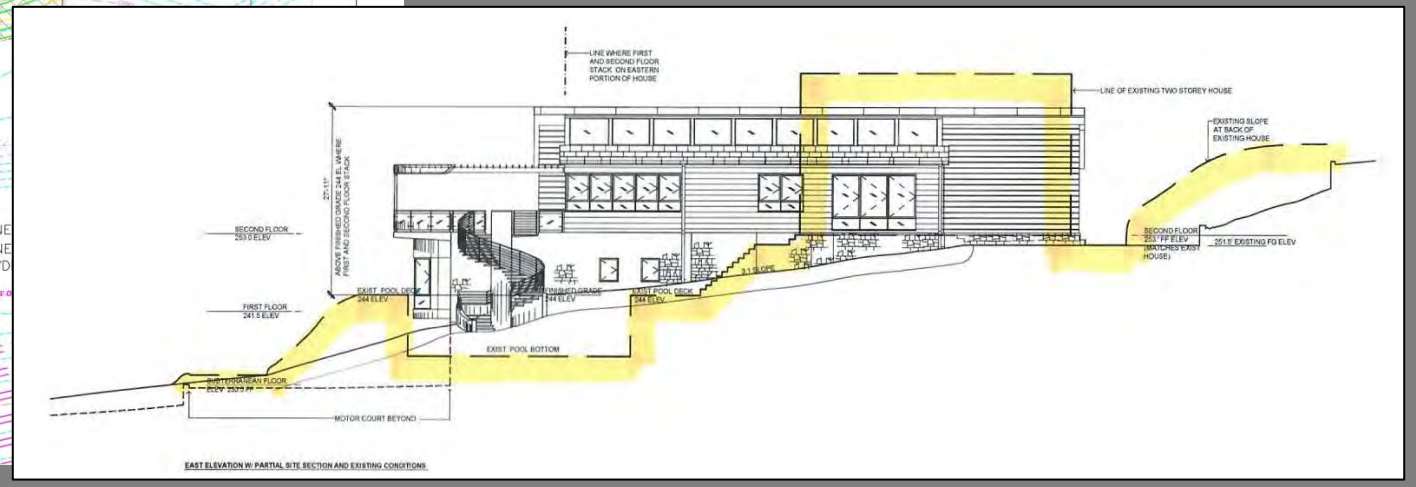
- Replace a straight, steep entry driveway with a curving, graceful driveway which will slow down / mitigate rainwater sheet flow-

- Use more gradual slopes instead of retaining walls wherever possible

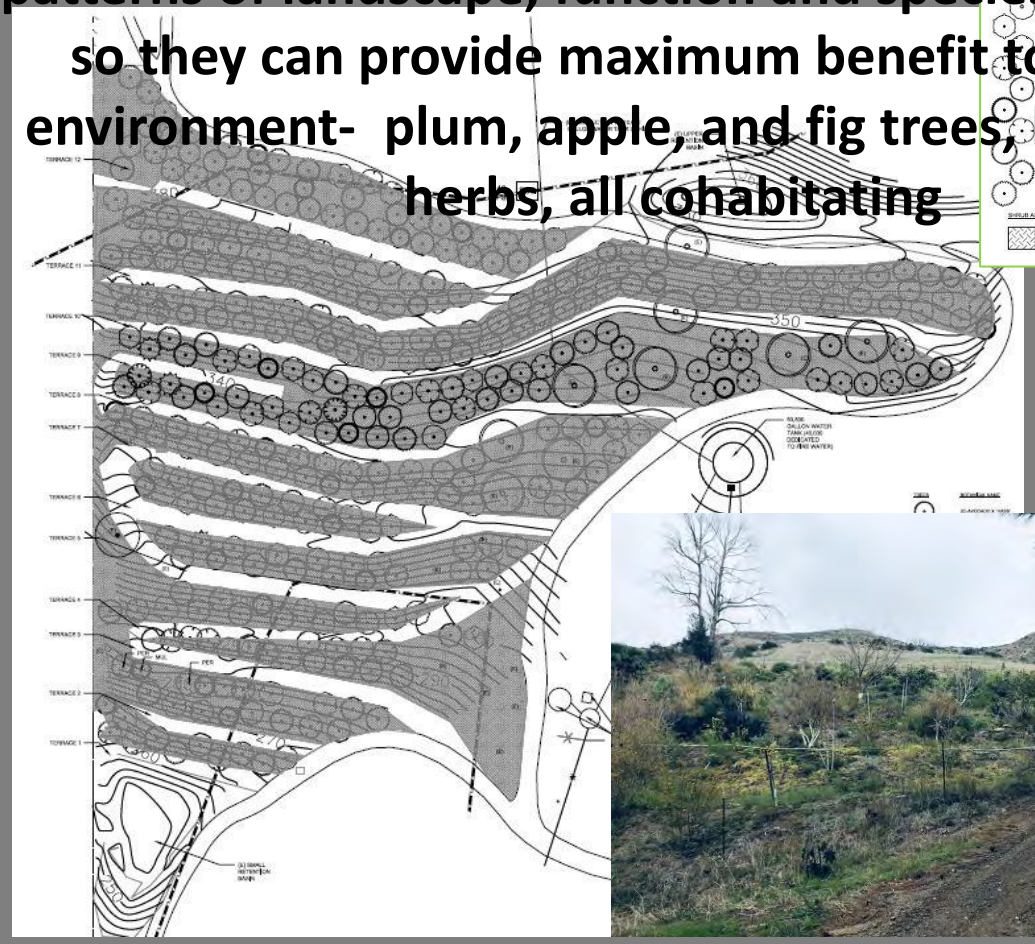


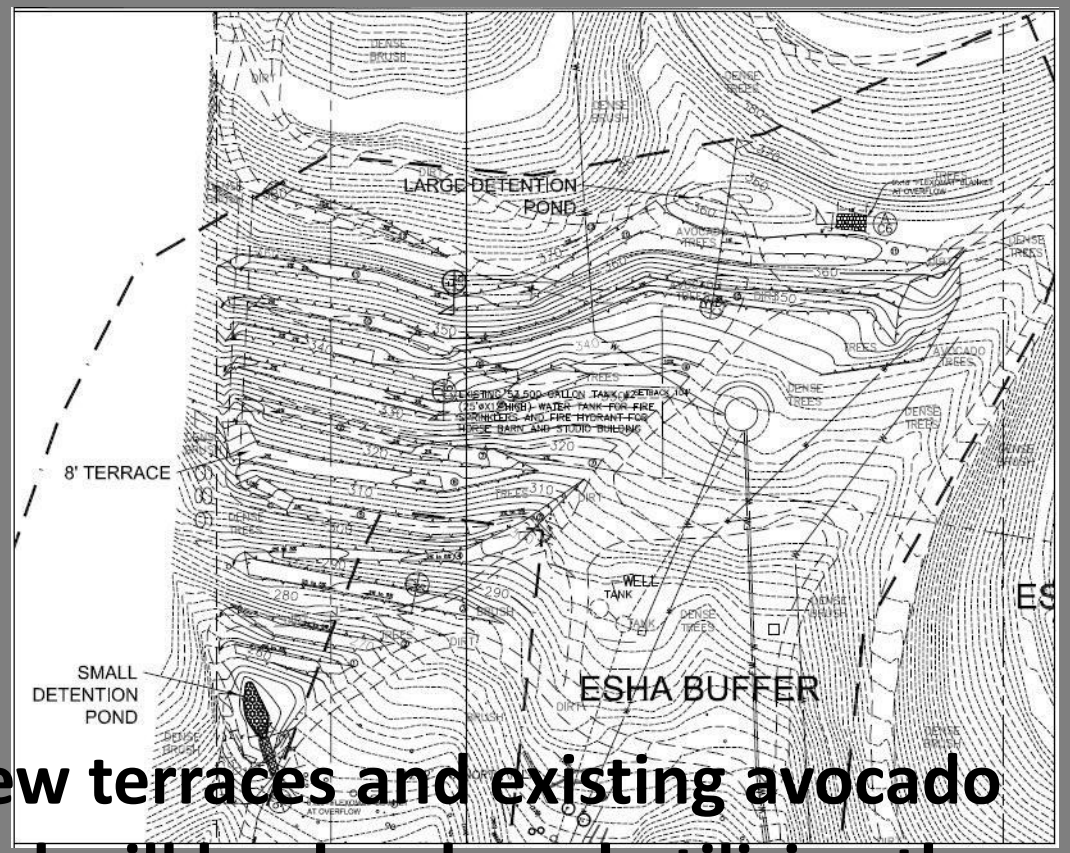






Terraced slopes, ***<u>based on existing grade contours and complying with guidelines of BMP (Best Management Practices) grading to minimize erosion, sedimentation and polluted runoff</u>***, are to be planted as per the principles of Permaculture Design, which emphasizes patterns of landscape, function and species assemblies, so they can provide maximum benefit to the local environment- plum, apple, and fig trees, berries, and herbs, all cohabitating





The new terraces and existing avocado orchard will be developed utilizing the disciplines of organic farming, agroforestry, integrated farming, sustainable development and applied ecology, to create a unique agricultural component of this property

What will this property become?

- A unique **Rural Residential Equestrian and Agricultural** property with a new Main Residence and existing accessory buildings in scale with the grand size of this property, on a site developed to embody the true **conservation** and **environmental sensitivity** unique to Malibu, within a **TDSF of 16,413.5 SF**, as currently requested; **OR**
- Will this property succumb to a **subdivision** by a future owner into **4 lots** which will allow 10,169 TDSF per each 6.2 acre lots/for a **total TDSF of 40,677 SF.**

NOTICE OF PUBLIC HEARING
CITY OF MALIBU
CITY COUNCIL

The Malibu City Council will hold public hearings on **MONDAY, July 12, 2021 at 6:30 p.m.** on the projects identified below. This meeting will be held via teleconference only in order to reduce the risk of spreading COVID-19 and pursuant to the Governor's Executive Orders N-25-20 and N-29-20 and the County of Los Angeles Public Health Officer's Safer at Home Order. All votes taken during this teleconference meeting will be by roll call vote, and the vote will be publicly reported.

How to View the Meeting: No physical location from which members of the public may observe the meeting and offer public comment will be provided. Please view the meeting, which will be live streamed at https://malibucity.org/video and https://malibucity.org/VirtualMeeting.

How to Participate Before the Meeting: Members of the public are encouraged to submit email correspondence to citycouncil@malibucity.org before the meeting begins.

How To Participate During The Meeting: Members of the public may also speak during the meeting through the Zoom application. You must first sign up to speak before the item you would like to speak on has been called by the Mayor and then you must be present in the Zoom conference to be recognized.

Please visit https://malibucity.org/VirtualMeeting and follow the directions for signing up to speak and downloading the Zoom application.

APPEAL NO. 21-004 - An appeal of the Planning Commission's denial of Coastal Development Permit No. 16-025, Variance Nos. 16-013 and 16-014, Site Plan Review Nos. 16-028 and 20-078, and Demolition Permit No. 19-047 for the demolition of a single-family residence, exterior facade remodel of an existing guest house, construction of a new two-story single-family residence, new swimming pond, new onsite wastewater treatment system and associated development, including variance requests to exceed the allowable total development square footage and allowable grading, and a site plan review request to allow for construction in excess of 18-feet to allow for a pitched roof not to exceed 28-feet in height.

Location:	33603 Pacfic Coast Highway
APN:	4473-002-002
Zoning:	Rural Residential-Five Acre (RR-5)
Applicant / Appellant:	Coffman Design Collaborative
Owner:	Palms of Malibu Ranch, LLC
Environmental Review:	Categorical Exemption CEQA Guidelines Section 15270
Application Filed:	May 20, 2016
Appeal Filed:	February 25, 2021
Case Planner:	Didier Murillo, Assoicate Planner (310) 456-2489, extension 353 dmurillo@malibucity.org

EXHIBIT F

APPEAL NO. 21-005 – A hearing to consider remanding the following planning application to the Planning Commission for re-consideration: Coastal Development Permit No. 17-104 and Variance Nos. 19-035 and 19-036, and Minor Modification No. 20-012 for a 5,285-square foot single-family residence that includes a 2,594-square foot basement including a subterranean garage, for a total development square footage of 6,082-square feet, a new onsite wastewater treatment system, exterior site improvements including a new swimming pool, deck, landscape, a total of 6,330-square feet of impermeable coverage, and 432 cubic yards of non-exempt grading; including a minor modification for the reduction of the required front yard setback, a variance to allow for construction on steep slopes, and a variance to allow for development within the required Environmental Sensitive Habitat Area buffer.

On April 19, 2021, the Planning Commission denied the aforementioned application. Subsequently, on April 26, 2021, the applicant filed an appeal of the Planning Commission's action on the application. The applicant has revised the project and has requested that the Planning Commission re-consider the application in lieu of holding a public hearing on the appeal.

Location:	3620 Noranda Lane
APN:	4473-026-002
Zoning:	Rural Residential-Five Acre (RR-5)
Applicant / Appellant:	Vitus Matare
Owner:	3620 Noranda, LLC
Environmental Review:	Categorical Exemption CEQA Guidelines Section 15303(a) and (e) and 15304(b)
Application Filed:	November 8, 2017
Appeal Filed:	April 26, 2021
Case Planner:	Jessica Thompson, Associate Planner (310) 456-2489, extension 280 jthompsonl@malibucity.org

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Pursuant to the authority and criteria contained in the California Environmental Quality Act (CEQA), the Planning Director has analyzed the proposed projects and found that they are listed among the classes of projects that have been determined not to have a significant adverse effect on the environment. Therefore, the projects are categorically exempt from the provisions of CEQA. The Planning Director has further determined that none of the six exceptions to the use of a categorical exemption apply to these projects (CEQA Guidelines Section 15300.2).

A written staff report will be available at or before the hearing for the project. All persons wishing to address the Council regarding these matters will be afforded an opportunity in accordance with the Council's procedures.

Copies of all related documents can be reviewed by any interested person by contacting the Case Planner during regular business hours. Oral and written comments may be presented to the City Council at any time prior to the beginning of the public hearing.

IF YOU CHALLENGE THE CITY'S ACTION IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE CITY, AT OR PRIOR TO THE PUBLIC HEARING.

Richard Mollica, Planning Director

Publish Date: June 17, 2021